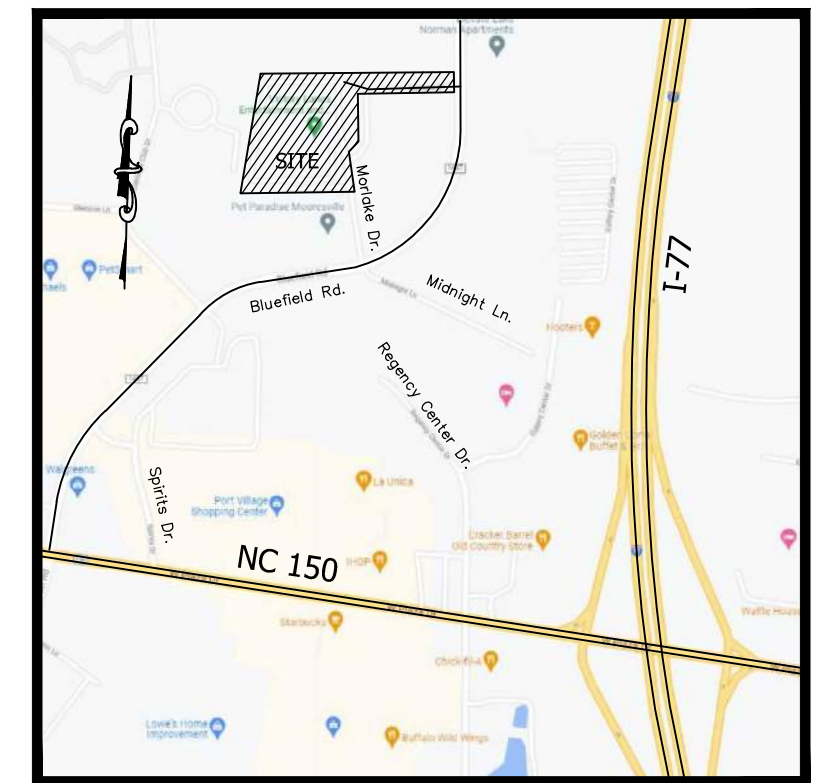


NEW VICTORY LANES MINIA TURE GOLF



VICINITY MAP
NO SCALE

Town of Mooresville
Project Number 617623

CIVIL PLAN SHEETS

- | | |
|---------------|---------------------------------|
| EXC-1.0 | EXISTING CONDITIONS PLAN |
| C-1, C-2, C-3 | APPROVED CONCEPT PLANS |
| D-1.1 | DEMOLITION PLAN |
| S-2.0 | OVERALL SITE PLAN |
| S-2.1 | MINIATURE GOLF SITE PLAN |
| S-2.2 | SITE SPECIFICATIONS AND DETAILS |
| EC-3.0 | EROSION CONTROL PLAN |
| EC-3.1 | EROSION CONTROL DETAILS |
| GR-4.0 | GRADING AND LANDSCAPING PLAN |
| DR-4.1 | STORM DRAINAGE AREAS PLAN |
| U-5.0 | SITE UTILITY PLAN |

MINIATURE GOLF SHEETS

SEE ENTERTAINMENT CONCEPTS, INC.
NEW MINIGOLF PLANS

Town of Mooresville, North Carolina Plan Approval for Roadway, Drainage, Water & Sewer	
Director of Engineering  Site Plan Approval	Date 06/25/2022
Fire Dept.	Date
Planning Department	Date

Town of Mooresville, North Carolina As-Built Certification	
I certify that these plans (including roadway, water, sewer, and drainage) have been as-built through field verification and measurements and the information contained on these plans is accurate to the best of my knowledge.	
Seal	Date
Professional Engineer or Professional Land Surveyor	Date

PREPARED FOR:

OWNER/DEVELOPER:
VICTORY LANES EVENTS &
ENTERTAINMENT CENTER
125 MORLAKE DRIVE
MOORESVILLE, NC 28117
(704) 664-2695

FOR CONSTRUCTION

PREPARED BY:

PIEDMONT DESIGN
ENGINEERING SURVEYING PLANNING
Associates, P.A.

125 EAST PLAZA DRIVE, SUITE 101
MOORESVILLE, NC 28115
704.664.7888 - www.pdapa.com



#4647-68-3392
WJV Mooreville, LLC
Deed Book 2777 Page 157
Tract D
Zoned HB

#4647-68-8943
MSC Mooreville, LLC
Deed Book 2380 Page 1219
Tract 3
Zoned HB

#4647-68-1693
WJV Mooreville, LLC
Deed Book 2777 Page 157
Tract H
Zoned HB

Existing Metal Building
48,000 SF
#4647-58-6584
New Victory Lanes, LLC
Deed Book 2650 Page 722
Tract 4 Plat Book 49 Page 91
Zoned HB

#4647-68-1608
Joseph & Maria Navarro
Deed Book 2859 Page 2219
Zoned HB

#4647-68-0313
Morlake Executive Suites Condominium
Association, Inc.
Deed Book 2512 Page 280
Zoned HB

#4647-68-1225
WJV Mooreville, LLC
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#4647-68-4028
BMC Investment Holdings II, LLC
Deed Book 2536 Page 2347
Tract 5
Zoned HB

#4647-68-6078
Stone Master Funding XI, LLC
Deed Book 2665 Page 668
Tract 6
Zoned HB

UTILITIES CONTACTS:

POWER:	DUKE ENERGY 8320 NC HIGHWAY 150E. TERRELL, NC 28682 (800) 454-3853	WATER:	TOWN OF MOORSEVILLE PUBLIC UTILITIES 2523 CHARLOTTE HIGHWAY MOORESVILLE, NC 28117 Jeff Warfield (704) 663-7282	GAS:	PUBLIC SERVICE GAS CO. MOORESVILLE, NC 28117 Tim Gooden (704) 574-2375
TELEPHONE:	WINDSTREAM COMMUNICATIONS 688 BLUEFIELD RD. MOORESVILLE, NC 28117 (704) 696-1100	SEWER:	TOWN OF MOORSEVILLE PUBLIC UTILITIES 2523 CHARLOTTE HIGHWAY MOORESVILLE, NC 28117 John Yvars (704) 663-7282		

SITE DATA

PRIVATE WATERLINE:
3/4" PVC = 59± LF (Waterfall)

PUBLIC WATERLINE:
NONE

PRIVATE SANITARY SEWER:
NONE

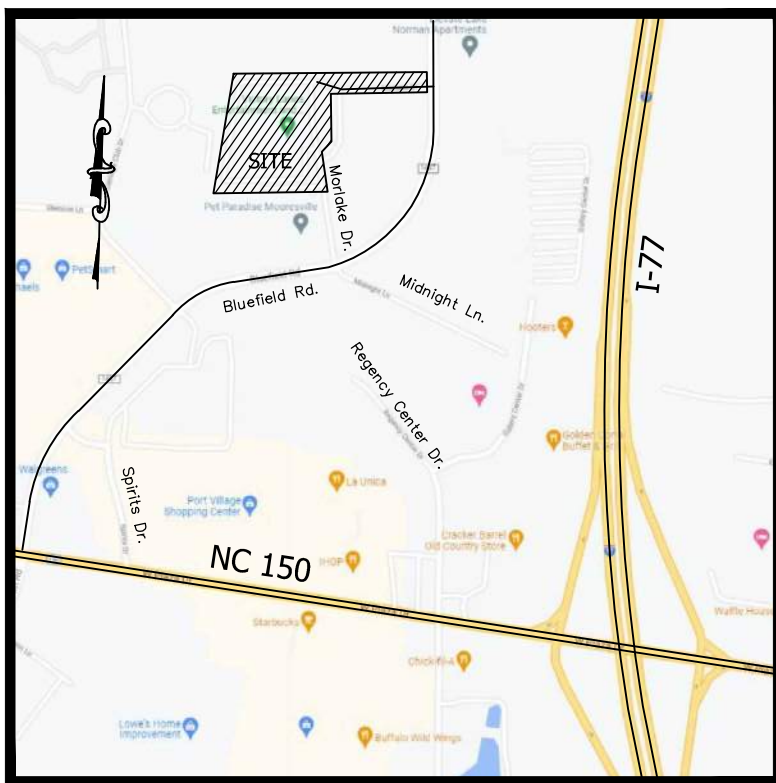
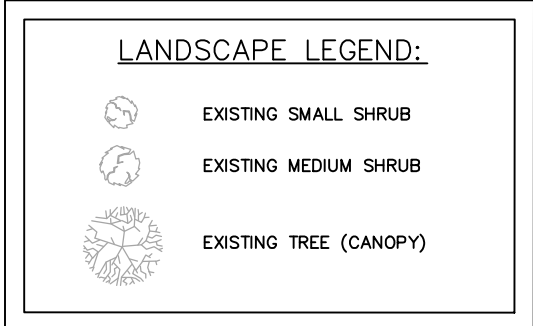


Know what's below.
Call before you dig.

Utilities Protection:
NORTH CAROLINA ONE Call
811 OR (800) 632-4949

NEW VICTORY LANES MINIA TURE GOLF

LANDSCAPE NOTE:
 ALL EXISTING INTERIOR LANDSCAPING (INCLUDING TREES AND SHRUBS) WILL REMAIN INTACT, WITH EXCEPTION FOR ONE ISLAND TREE WITHIN THE GOLF COURSE, WHICH WILL BE RELOCATED OR REPLACED. OVERALL SITE SHRUBS ARE SHOWN FOR LOCATION PURPOSES ONLY AND MAY NOT REPRESENT ACTUAL QUANTITY.



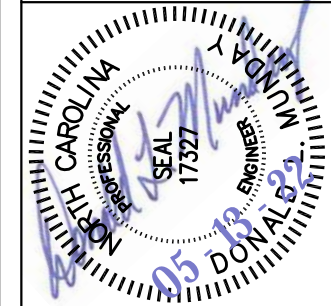
Town of Mooresville
Project Number 617623

Site Notes: Town of Mooresville
 Parcel ID: Iredell County Parcels: 4647-58-6584
 Owner: New Victory Lanes, LLC
 Address: 125 Morlake Drive
 Size: Approx. Net Total Area: 307,368 SF or 7.05 Ac.
 Zoning: HB (Highway Business)
 Existing Use: Bowling Alley
 Proposed Use: Bowling Alley/Miniature Golf
 (Remove existing parking & add miniature golf course)
 Building Form: Recreational and Sports Facilities(RS) (Ht.=4 Story)
 Units per Acre: 0.14
 Flood: This property is not located within a special Flood Hazard Zone according to the Flood Insurance Rate Map (Community Panel) 371046-4647J, Dated 3-18-2008.
 Watershed: This site lies mostly in the Lake Norman Regulated Watershed classified WS-IV (Protected Area) allowing 70% high impervious area. A small NW portion lies within LNRW WS-IV (critical area) allowing 30% high impervious area. This site was developed around 2006. An existing detention pond currently exists offsite and is being used by this site.
 Building Setbacks: (per HB Zoning)
 Front: 30'
 Side: 10'
 Rear: 20' (if adjacent to Residential only)
 Corner: 20'
 Max. Height: 35' (per Zoning Ordinance)
 Utilities: Existing water and sewer provided by Town of Mooresville
 Fire Sprinkler System: This building currently has an existing sprinkler system.
 Fire Hydrant Test: N/A
 Landscaping Parking Lot: Existing on East side (remains)
 Landscaping Roadway Yard: Not required (private roads)
 Buffer Requirements: No perimeter buffers required
 Existing parking: 289 Spaces (includes 8 Handicap)

PIEDMONT DESIGN
ENGINEERING SURVEYING & PLANNING
Associates, P.A.
 Suite 101 Westfield Center, 125 East Plaza Drive
 Mooresville, NC 28117
 Phone: (704) 664-2888 Fax: (704) 664-1178 www.pdpape.com
 N.C.B.E.L.S. License #: C-1007

PREPARED FOR:
Victory Lanes Events & Entertainment Center
 125 Morlake Drive
 MOORESVILLE, NC 28117
 704-664-2995

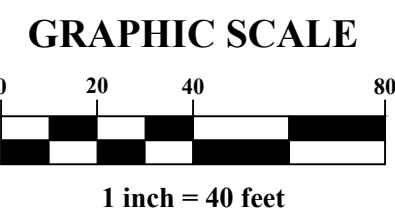
OVERALL EXISTING CONDITIONS
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA



REVISIONS	BY

Date: 5/13/22
 Scale: 1"=40 FT
 Drawn: JCW
 Checked: DLM
 Project: 2021-08-04
 Job:
 Sheet
EXC-1
 of 12 Sheets

FOR CONSTRUCTION



#4647-68-3392
 WOJV Mooresville, LLC
 Deed Book 2777 Page 157
 Tract D
 Zoned HB

#4647-68-8943
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Existing Metal Building
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 Deed Book 2565 Page 722
 Tract 4 Plat Book 49 Page 91
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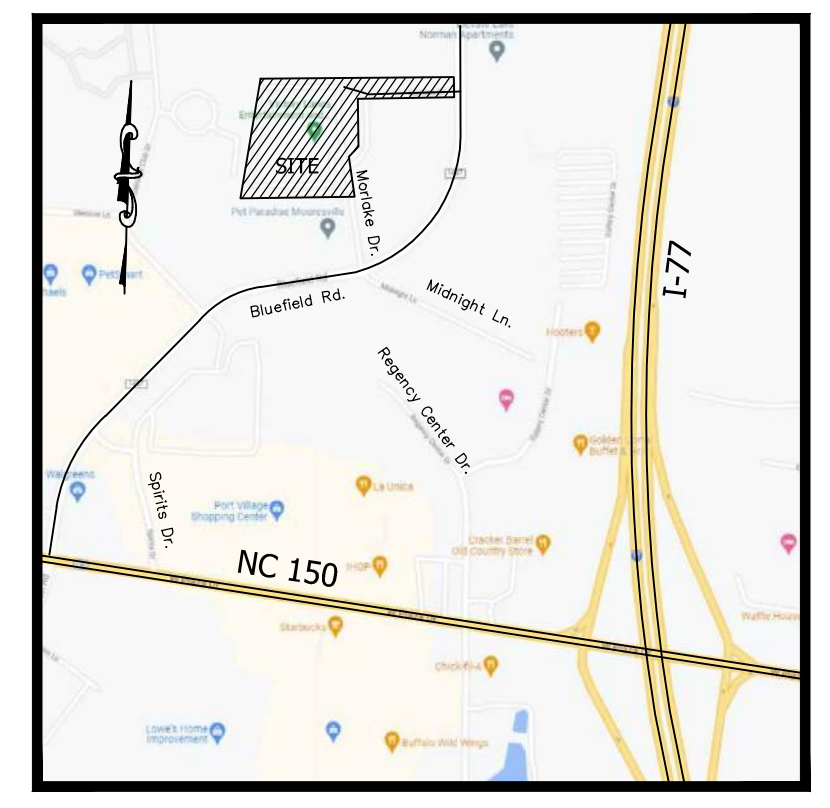
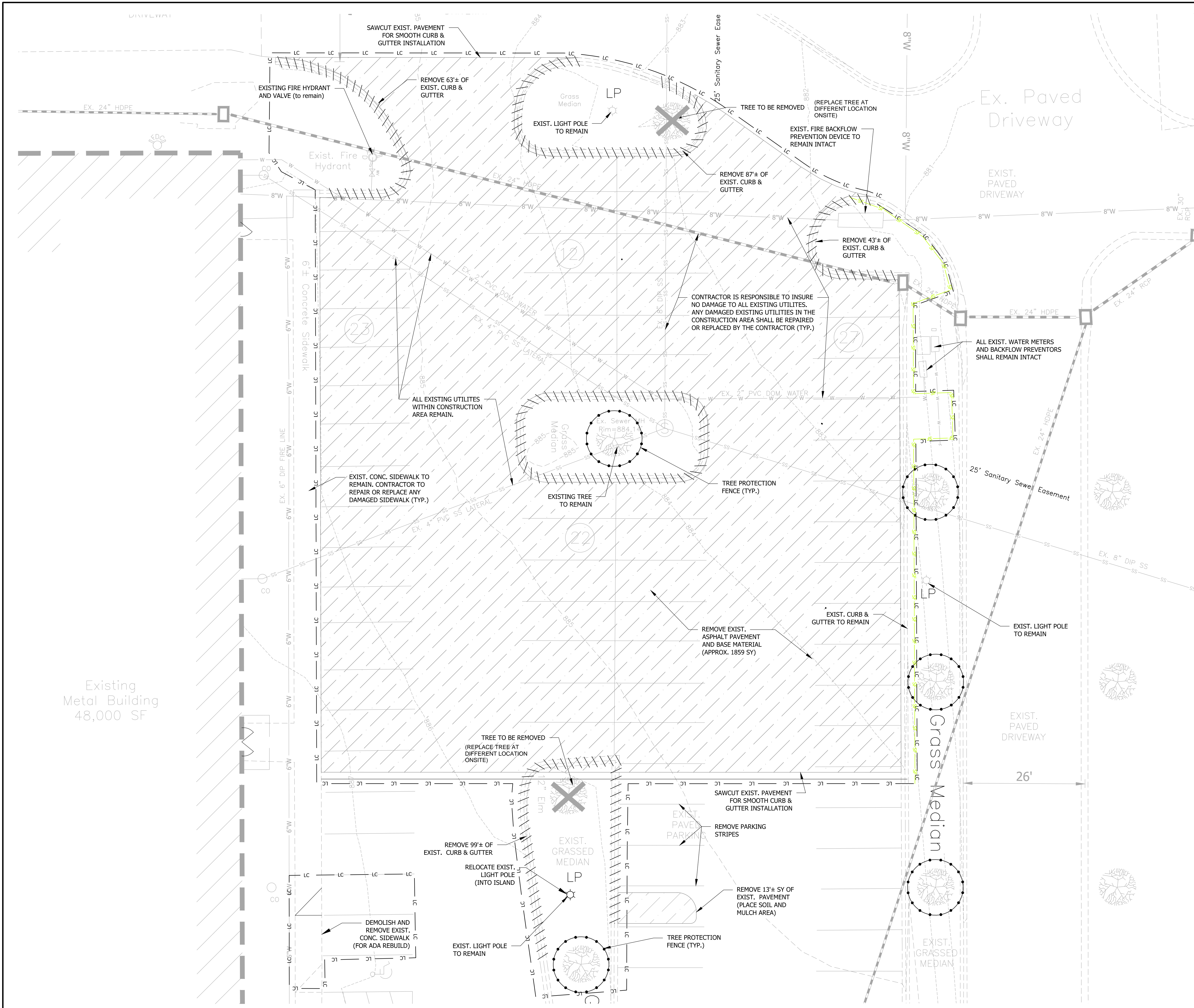
#4647-68-1608
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#4647-68-6078
 Store Master Funding XI, LLC
 Deed Book 2565 Page 868
 Tract 6
 Zoned HB



Town of Mooresville
Project Number 617623

DEMOLITION/CLEARING NOTES

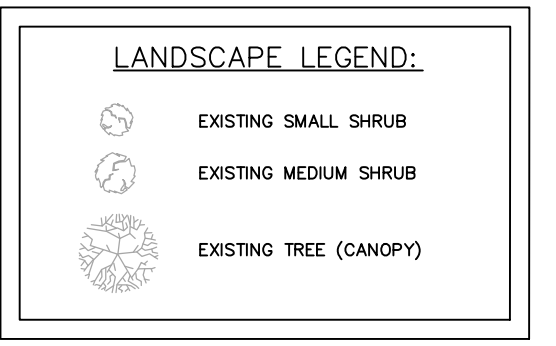
- TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY PIEDMONT DESIGN AND ASSOCIATES, PA, MOORESVILLE, NC. PHONE: 704-664-7888.
- CONTRACTOR SHALL REMOVE ONLY EXISTING TREES, CONCRETE, ASPHALT AND OTHER EXISTING STRUCTURES ONLY AS INDICATED ON PLAN. CONTRACTOR TO DISPOSE OF ALL DEBRIS TO AN APPROVED (LEGAL) OFF-SITE LOCATION.
- PROTECT ADJACENT CURBS, TREES, BUILDINGS, UTILITIES AND OTHER ITEMS TO REMAIN FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR PAYMENT OF ANY DAMAGED ITEMS TO REMAIN. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK, BOTH PUBLIC AND PRIVATE. CONTRACTOR IS FULLY RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL REPAIR ANY DAMAGE AS A RESULT OF THIS CONTRACT.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THIS CLEARING PLAN IMMEDIATELY TO THE PROJECT ENGINEER FOR DECISION.
- CLEARING LIMITS ON THE PLANS INDICATE THE EXTENT OF ALL MAJOR CLEARING REQUIRED. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY INCIDENTAL CLEARING REQUIRED FOR MINOR DISCREPANCIES IN GRADE, UTILITY INSTALLATIONS, EROSION CONTROL MEASURES, ETC.

EXISTING LEGEND

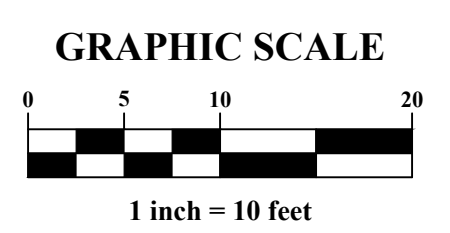
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING CURB LINE
- GENERAL PUBLIC UTILITY EASEMENT
- - - 722 - - - EXISTING MINOR CONTOUR
- - - 720 - - - EXISTING MAJOR CONTOUR
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- EXISTING WATER METER
- SS --- EXISTING SANITARY SEWER PIPE
- SS --- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM PIPE
- EXISTING CATCH BASIN

LANDSCAPE NOTE:
 ALL EXISTING INTERIOR LANDSCAPING (INCLUDING TREES AND SHRUBS) WILL REMAIN INTACT, WITH EXCEPTION FOR ONE ISLAND TREE WITHIN THE GOLF COURSE, WHICH WILL BE RELOCATED OR REPLACED.

SEE SHEET S-2.2 FOR TREE PROTECTION DETAIL.



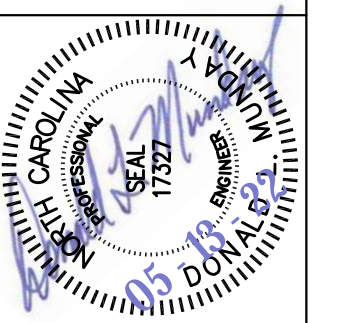
FOR CONSTRUCTION



PIEDMONT DESIGN
 ENGINEERING, SURVEYING & PLANNING
Associates, P.A.
 Suite 101 Westfield Center, 125 East Plaza Drive
 Mooresville, NC 28117
 Phone: (704) 664-7888 Fax: (704) 664-1778 www.pdpape.com
 NC BELS License #: C-1007

PREPARED FOR:
Victory Lanes Events & Entertainment Center
 125 Morlake Drive
 MOORESVILLE, NC 28117
 704-664-2995

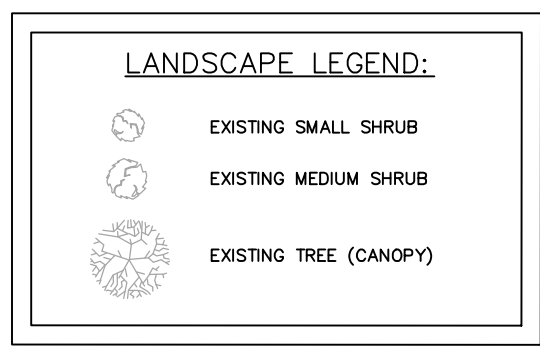
DEMOLITION PLAN
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA



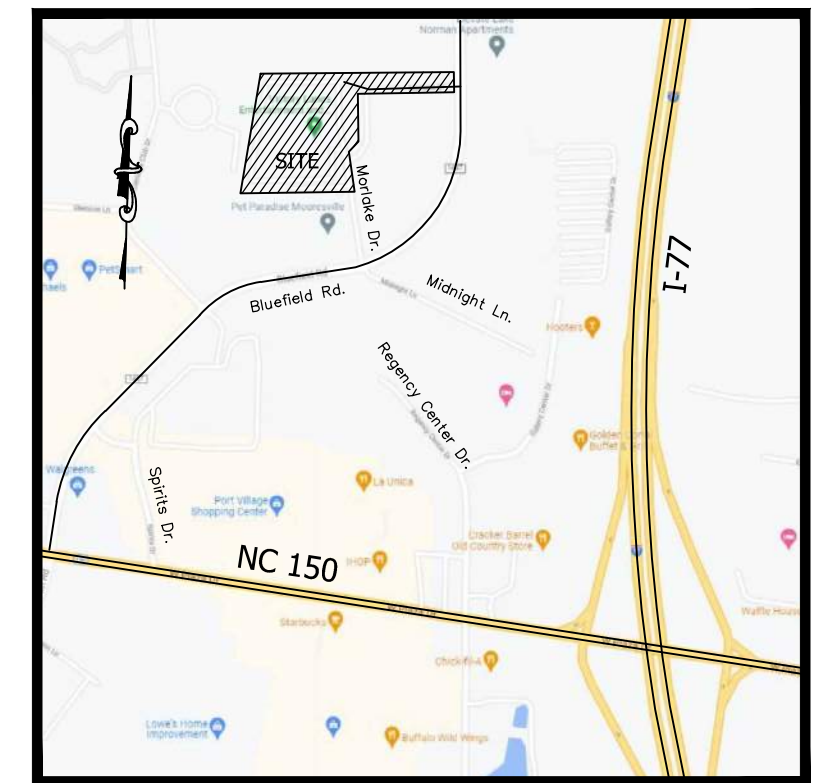
REVISIONS	BY

Date: 5/13/22
 Scale: 1"=10 FT
 1" CONTOURS
 Drawn: JCW
 Checked: DLM
 Project: 2021-08-04
 Job:
 Sheet
D-1.1
 of 12 Sheets

LANDSCAPE NOTE:
 ALL EXISTING INTERIOR LANDSCAPING (INCLUDING TREES AND SHRUBS) WILL REMAIN INTACT, WITH EXCEPTION FOR ONE ISLAND TREE WITHIN THE GOLF COURSE, WHICH WILL BE RELOCATED OR REPLACED. OVERALL SITE SHRUBS ARE SHOWN FOR LOCATION PURPOSES ONLY AND MAY NOT REPRESENT ACTUAL QUANTITY.



SEE SHEET S-2.2 FOR TREE PROTECTION DETAIL.



VICINITY MAP
 NO SCALE
Town of Mooresville
Project Number 617623

Site Notes: Town of Mooresville
 Parcel ID: Iredell County Parcels: 4647-58-6584
 Owner: New Victory Lanes, LLC
 Address: 125 Morlake Drive
 Size: Approx. Net Total Area: 307,368 SF or 7.05 Ac.
 Zoning: HB (Highway Business)
 Existing Use: Bowling Alley
 Proposed Use: Bowling Alley/Miniature Golf
 (Remove existing parking & adding miniature golf course)
 Building Form: Recreational and Sports Facilities(RS) (Ht.=4 Story)
 Units per Acre: 2/7.05 = 0.28
 Phasing: One Phase
 TIA: Proposed use does not trigger analysis
 Flood: This property is not located within a special Flood Hazard Zone according to the Flood Insurance Rate Map (Community Panel) 371046-4647J, Dated 3-18-2008.
 Watershed: This site lies mostly in the Lake Norman Regulated Watershed classified WS-IV (Protected Area) allowing 70% high impervious area. A small NW portion lies within LNRW WS-IV (critical area) allowing 30% high impervious area. This site was developed around 2006. An existing detention pond currently exists offsite and is being used by this site.
 Building Setbacks: (per HB Zoning)
 Front: 30'
 Side: 10'
 Rear: 20'
 Corner: 20'
 Max. Height: 35'
 Utilities: Existing water and sewer provided by Town of Mooresville
 Fire Sprinkler System: This building currently has an existing sprinkler system.
 Fire Hydrant Test: N/A
 Landscaping Parking Lot: Existing on East side (remains)
 Landscaping Roadway Yard: Not required (private roads)
 Buffer Requirements: No perimeter buffers required

PIEDMONT DESIGN
 ENGINEERING/SURVEYING/PLANNING
Associates, P.A.
 Suite 101 Westfield Center, 125 East Plaza Drive
 Phone: (704) 664-2888 Fax: (704) 664-1778 www.pdpape.com
 N.C.B.E.L.S. License #: C-1007

PREPARED FOR:
Victory Lanes Events & Entertainment Center
 125 Morlake Drive
 MOORESVILLE, NC 28117
 704-664-2995

OVERALL PROPOSED SITE PLAN
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA



REVISIONS BY

Date: 5/13/22
 Scale: 1"=40 FT
 Drawn: JCW
 Checked: DLM
 Project: 2021-08-04
 Job:
 Sheet
S-2.0
 of 15 Sheets

Impervious Area Calculations-Overall Site

Item	Existing	Prop.	Total
Size (AC)	7.06	7.06	7.06
Size (SF)	307,368	307,368	307,368
Impervious Allowed	70%	70%	215,158
			4.94 Ac
Buildings	48,000	120	48,120
Driveway & Pkg	152,812	1,161	153,973
Sidewalk/Concrete	0	0	0
Overhang	0	0	0
Other (Dumpster Pad)	0	0	0
Other (Sign)	0	0	0
Remove Asphalt/Curb		-10,944	-10,944
Surplus (Imperv.)			24,009
Total	200,812	-9,663	191,149
	4.61 Ac		4.39 Ac
Impervious %	65.33%	-3.14%	62.19%

Town of Mooresville, North Carolina
 Plan Approval for Roadway, Drainage, Water & Sewer

Director of Engineering _____ Date _____

Fire Department _____ Date _____

Planning Department _____ Date _____

Town of Mooresville, North Carolina
 As-Built Certification

I certify that these plans (including roadway, water, sewer, and drainage) have been as-built through field verification and measurements and the information contained on these plans is accurate to the best of my knowledge.

Professional Engineer or Professional Land Surveyor _____ Date _____

SITE DATA

Item	SF	AC
Site Size	307,368	7.056
Access Area		
Total Site Size	307,368	7.056

Site Setbacks

Town of Mooresville Jurisdiction			
Main Property	Bordering	Type	Width
North Side	Zoning	Rear	20'
West Side	HB	Side	10'
South Side	HB	Front	30'
East Side	HB	Side	10'

Building Imperv

Bldg Type	# Bldgs	Imperv	Total
EXIST. BUILDING	1	48,000	48,000
PROP. BLDG (Caddy Shack)	1	64	64
Total Building Impervious			48,064

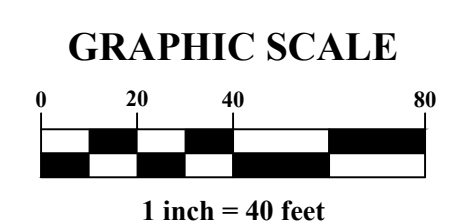
Site Parking Calcs

Type	/Spac	Exist	Req	Prop
Handicap Parking		8	9	9
Required Parking (Lanes)	3 / Lane	221	120	135
Required Parking (Rest.)	1 / 3 Seats	60	50	60
Required Parking (Employees)	1 / Employee	0	20	20
Required Parking (Golf Empl)	1 / Employ	0	1	1
Required Parking (Golf Area)	1 / 5000 SF	0	5	5
TOTAL PARKS		289	205	230

Additional Parking Calcs
 3 spaces per Lane (40 seats x 3 = 120 Required spaces)
 1 space per seat (Restaurant/Lounge) (150 seats/3 = 50 Required spaces)
 1 space per Employee (20 Employees = 20 Required spaces)
 1 space per Employee (Golf) (1 Employee = 1 Required spaces)
 1 space per 5000 SF (Golf) (21,962 SF/5000 = 5 Required spaces)
 Remove 58 spaces + convert 1 space to HC striping = 59 spaces removed
 289 - 59 = 230 (existing parking spaces remain intact)

Site Open Space Calcs

Type	% of Site	Req	Prop
Open Space Area	5%	15,368 SF	105,331 SF
		0.35 Ac	2.42 Ac



Know what's below.
 Call before you dig.

#4647-68-3392
 WOJV Mooresville, LLC
 Deed Book 2777 Page 157
 Tract D
 Zoned HB

#4647-68-8943
 MSC Mooresville, LLC
 Deed Book 2380 Page 1219
 Tract 3
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 WOJV Mooresville, LLC
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 Tract H
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Existing Metal Building
 48,000 SF
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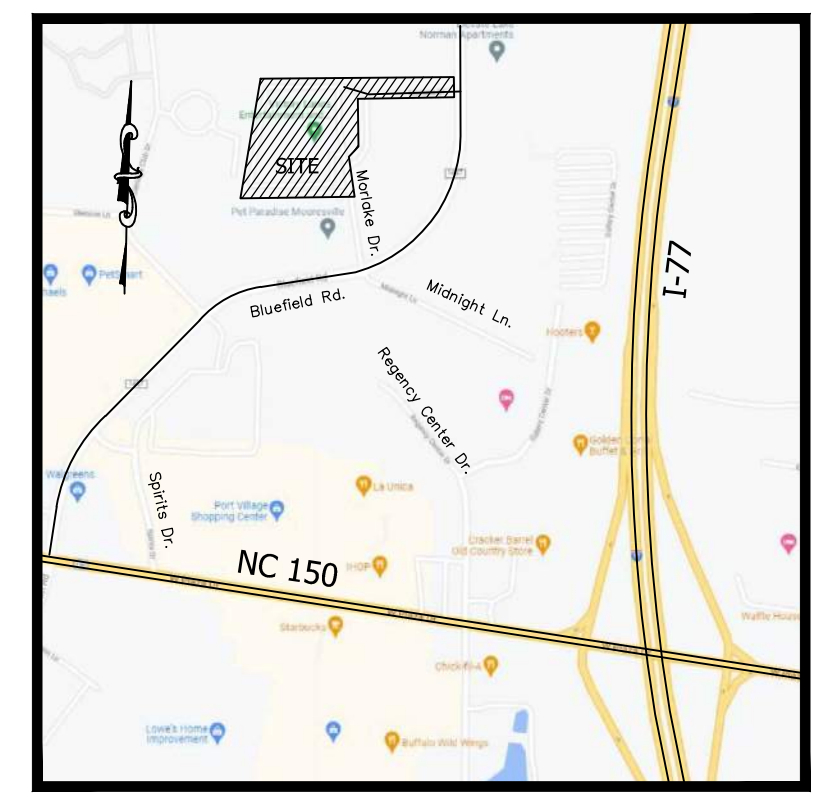
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 BMG Investment Holdings II, LLC
 Deed Book 2536 Page 2347
 Tract 5
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#4647-68-6078
 Store Master Funding XI, LLC
 Deed Book 2565 Page 868
 Tract 6
 Zoned HB



LANDSCAPE LEGEND:

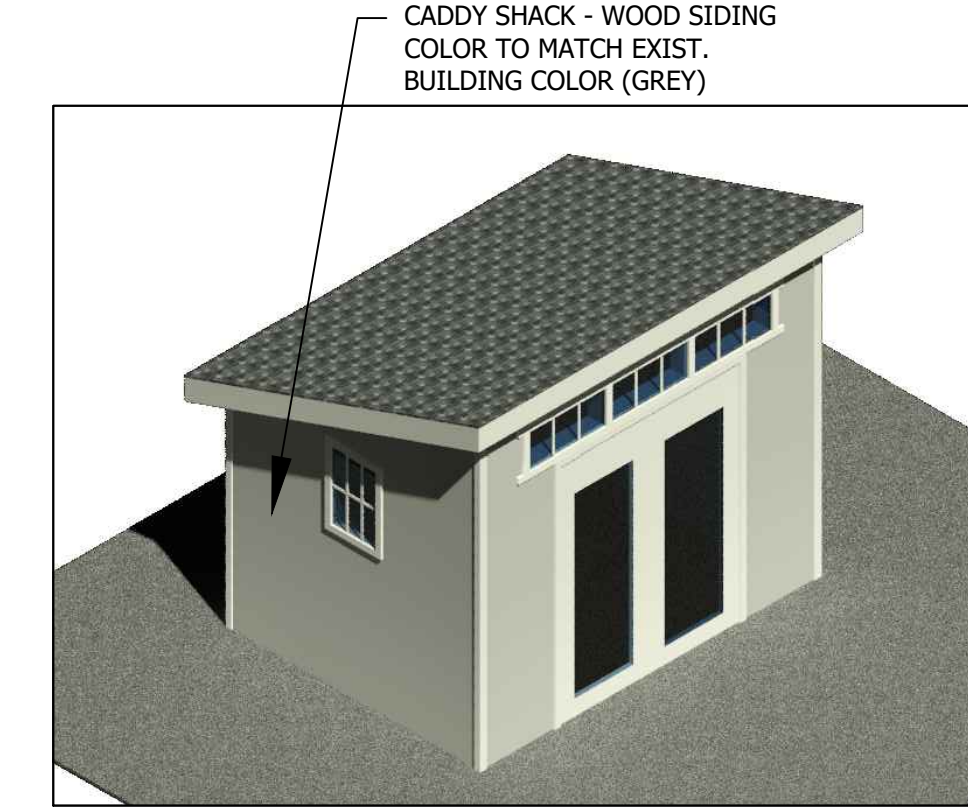
(Symbol: Small circle with dot)	EXISTING SMALL SHRUB
(Symbol: Medium circle with dot)	EXISTING MEDIUM SHRUB
(Symbol: Large circle with dot)	EXISTING TREE (CANOPY)



Town of Mooresville
Project Number 617623

LANDSCAPE NOTE:
ALL EXISTING INTERIOR LANDSCAPING (INCLUDING TREES AND SHRUBS) WILL REMAIN INTACT, WITH EXCEPTION FOR ONE ISLAND TREE WITHIN THE GOLF COURSE, WHICH WILL BE RELOCATED OR REPLACED.

ADA NOTE:
ALL PROPOSED INTERIOR GRADING FOR MINIATURE GOLF ROUTES WILL COMPLY WITH FEDERAL ADA DESIGN CRITERIA. FULL GRADING WILL BE DEVELOPED IN THE SITE-CONSTRUCTION PLANS STAGE.



PROP. CADDIE SHACK
(ELEVATION PHOTO)

CADDY SHACK NOTES:
SIZE: Proposed Approx. 10' x 12' = 120 Sq. Ft.
HEIGHT: Approx. 12' Ft. (15' Maximum Height)

SITE LEGEND

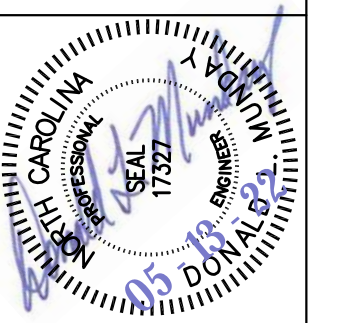
DETAIL SYMBOL	DETAIL DESCRIPTION
(Symbol: Dashed line)	EXISTING PROPERTY LINE
(Symbol: Dotted line)	PROPOSED BUILDING SETBACK LINE
(Symbol: Stippled area)	PROPOSED STONE COVER
(Symbol: Horizontal lines)	PROPOSED CONCRETE SIDEWALK
(Symbol: Diagonal lines)	PROPOSED SIDEWALK RAMP
(Symbol: Hatched area)	PROPOSED MULCH AREA
(Symbol: Circle with dot)	PROPOSED GOLF HOLE HATCH
(Symbol: Dashed line with 'PSDE')	PROPOSED STORM DRAINAGE ESMT.
(Symbol: Dashed line with 'UTE')	PROPOSED UTILITY EASEMENT



PIEDMONT DESIGN
ENGINEERING SURVEYING & PLANNING
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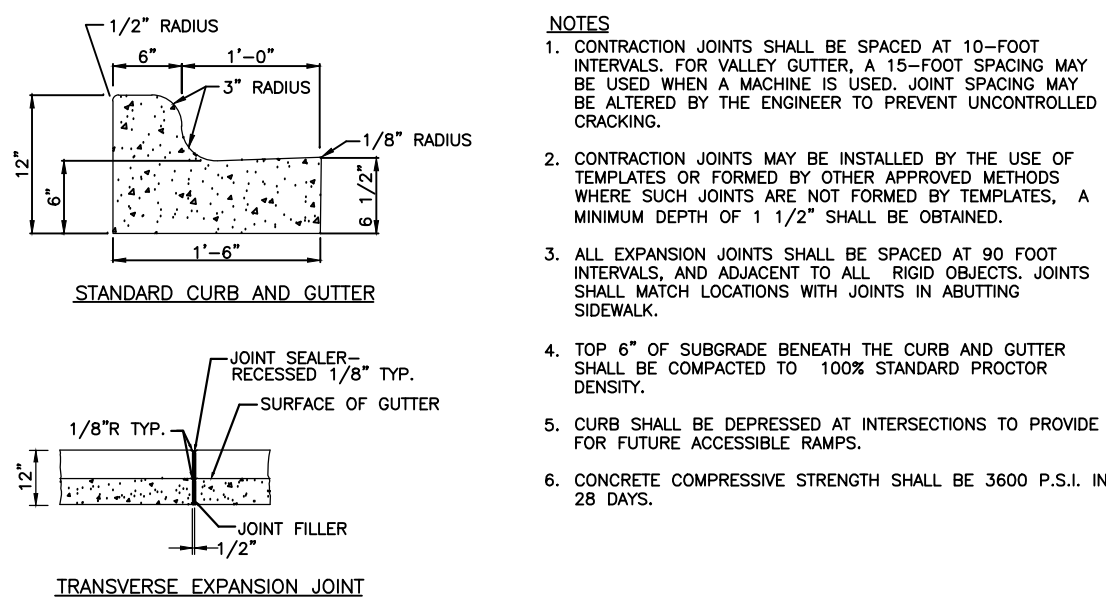
PREPARED FOR:
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125 Morlake Drive
MOORESVILLE, NC 28117
704-664-2895

SITE & LANDSCAPING PLAN
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA

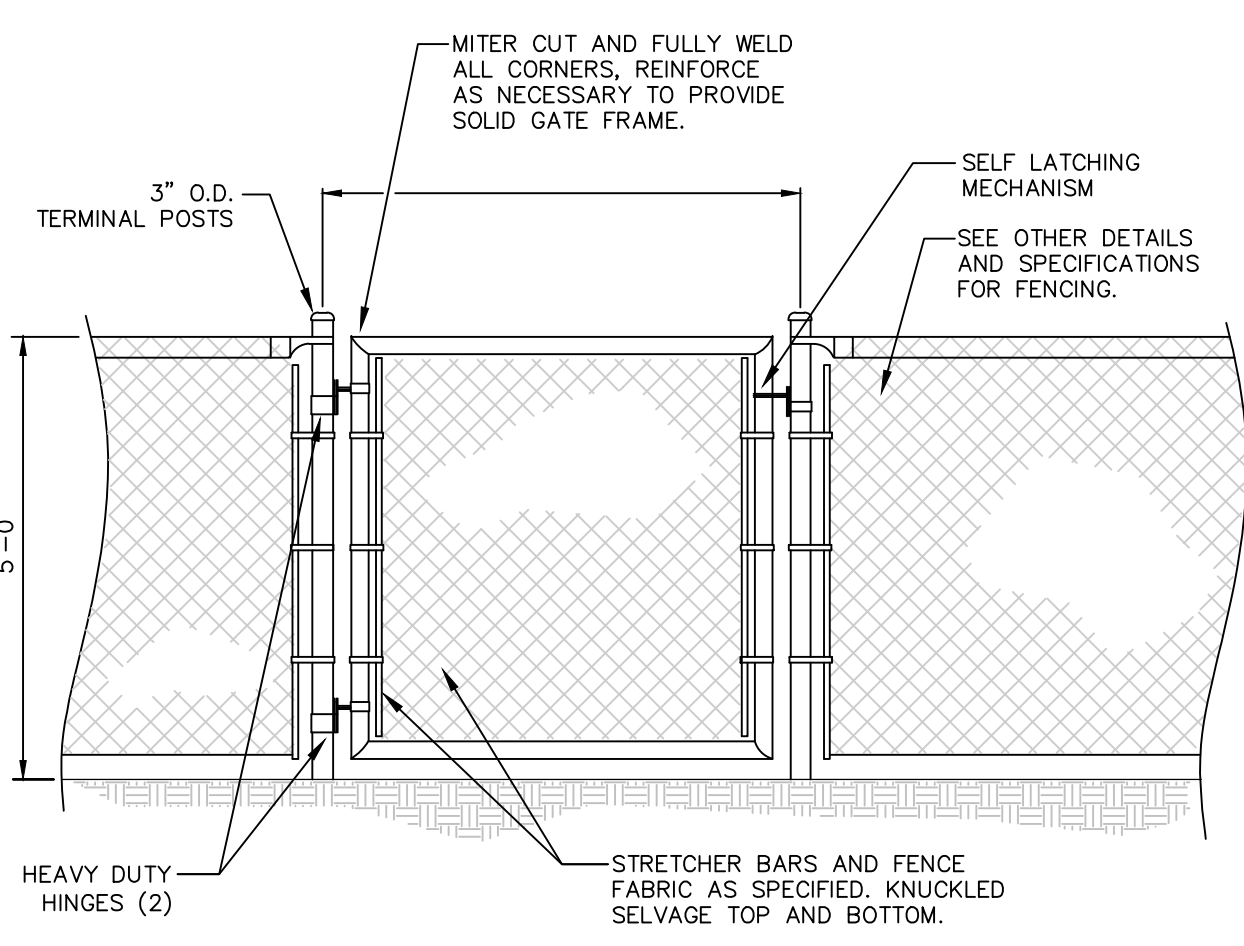


REVISIONS	BY

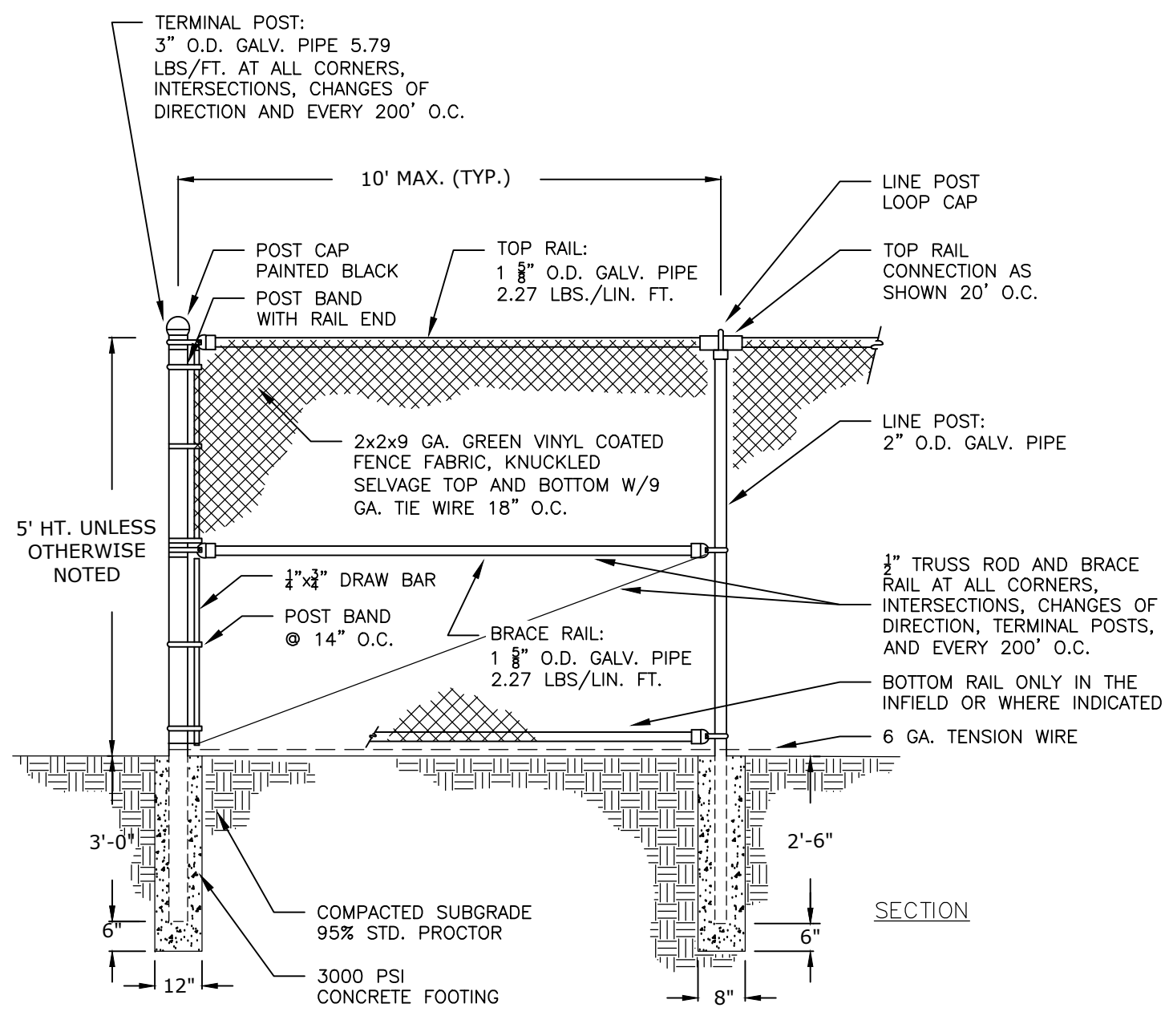
Date: 5/13/22
Scale: 1" = 10 FT
Drawn: JCW
Checked: DLM
Project: 2021-08-04
Job:
Sheet: **S-2.1**
of 12 Sheets



1'-6" CONCRETE CURB DETAIL
N.T.S.

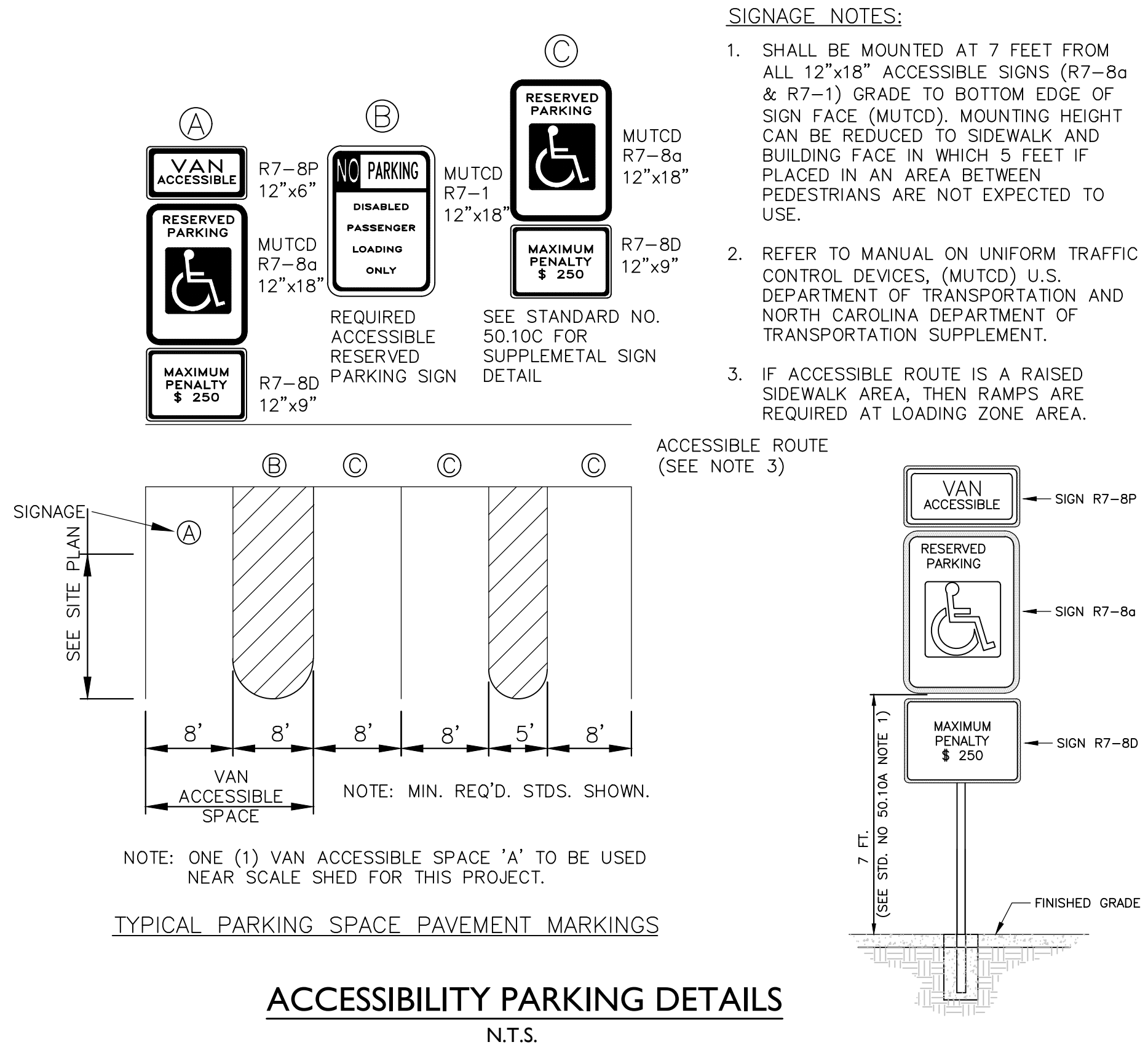


PEDESTRIAN GATE FOR SHAIN LINK FENCE
N.T.S.



CHAIN LINK FENCE
N.T.S.

- NOTES**
- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS FOR VALLEY GUTTER. A 15-FOOT SPACING MAY BE USED WHEN A MACHINE IS USED. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
 - CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES. A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
 - ALL EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL ROAD OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ADJUTING SIDEWALK.
 - TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
 - CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
 - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.



ACCESSIBILITY PARKING DETAILS
N.T.S.

- SIGNAGE NOTES:**
- SHALL BE MOUNTED AT 7 FEET FROM ALL 12"x18" ACCESSIBLE SIGNS (R7-8a & R7-1) GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO SIDEWALK AND BUILDING FACE IN WHICH 5 FEET IF PLACED IN AN AREA BETWEEN PEDESTRIANS ARE NOT EXPECTED TO USE.
 - REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
 - IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.

UTILITIES CONTACTS:

POWER: DUKE ENERGY
8320 NC HIGHWAY 150E.
TERRELL, NC 28682
(800) 454-3853

TELEPHONE: WINDSTREAM COMMUNICATIONS
689 BLUEFIELD RD.
MOORESVILLE, NC 28117
(704) 696-1100

WATER: TOWN OF MOORESVILLE
TOWN OF MOORESVILLE

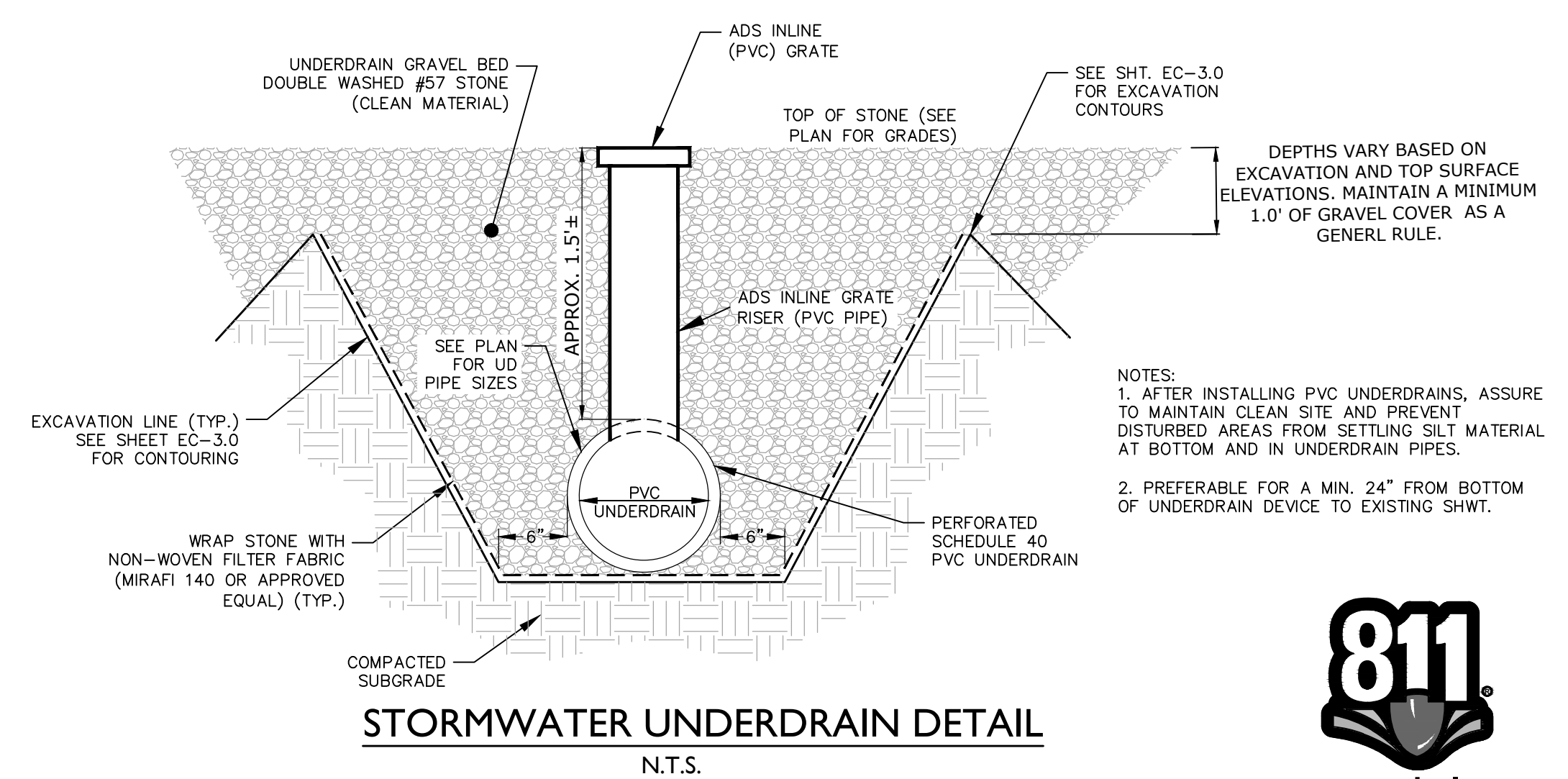
SEWER: TOWN OF MOORESVILLE

GAS: PUBLIC SERVICE GAS CO.
MOORESVILLE, NC 28117
Tim Gooden
(704) 574-2375

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRIERS USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

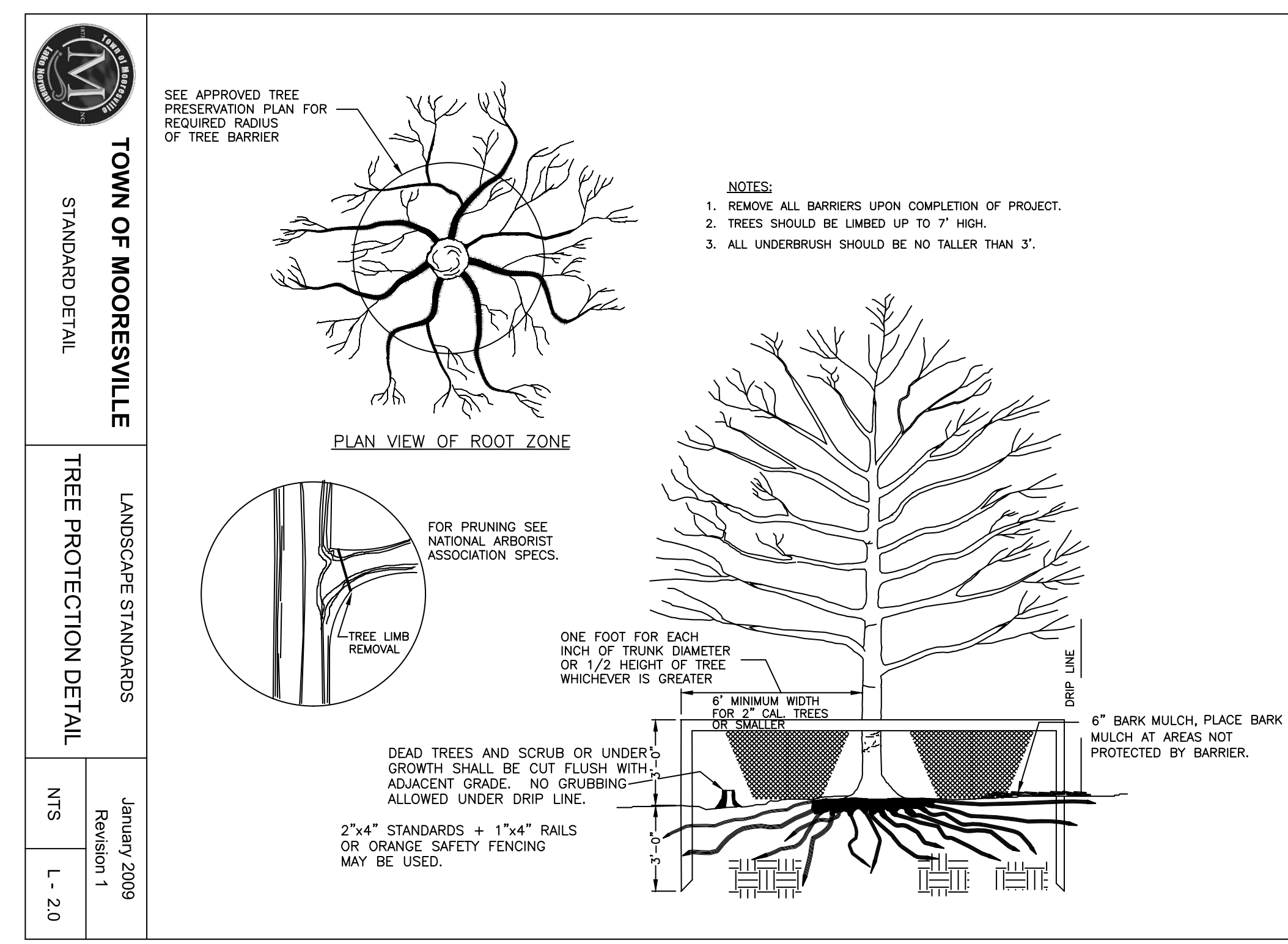
Utilities Protection: NORTH CAROLINA ONE Call
811 OR (800) 632-4949

IF YOU DIG NORTH CAROLINA...
CALL US FIRST!
811 or 1-800-632-4949



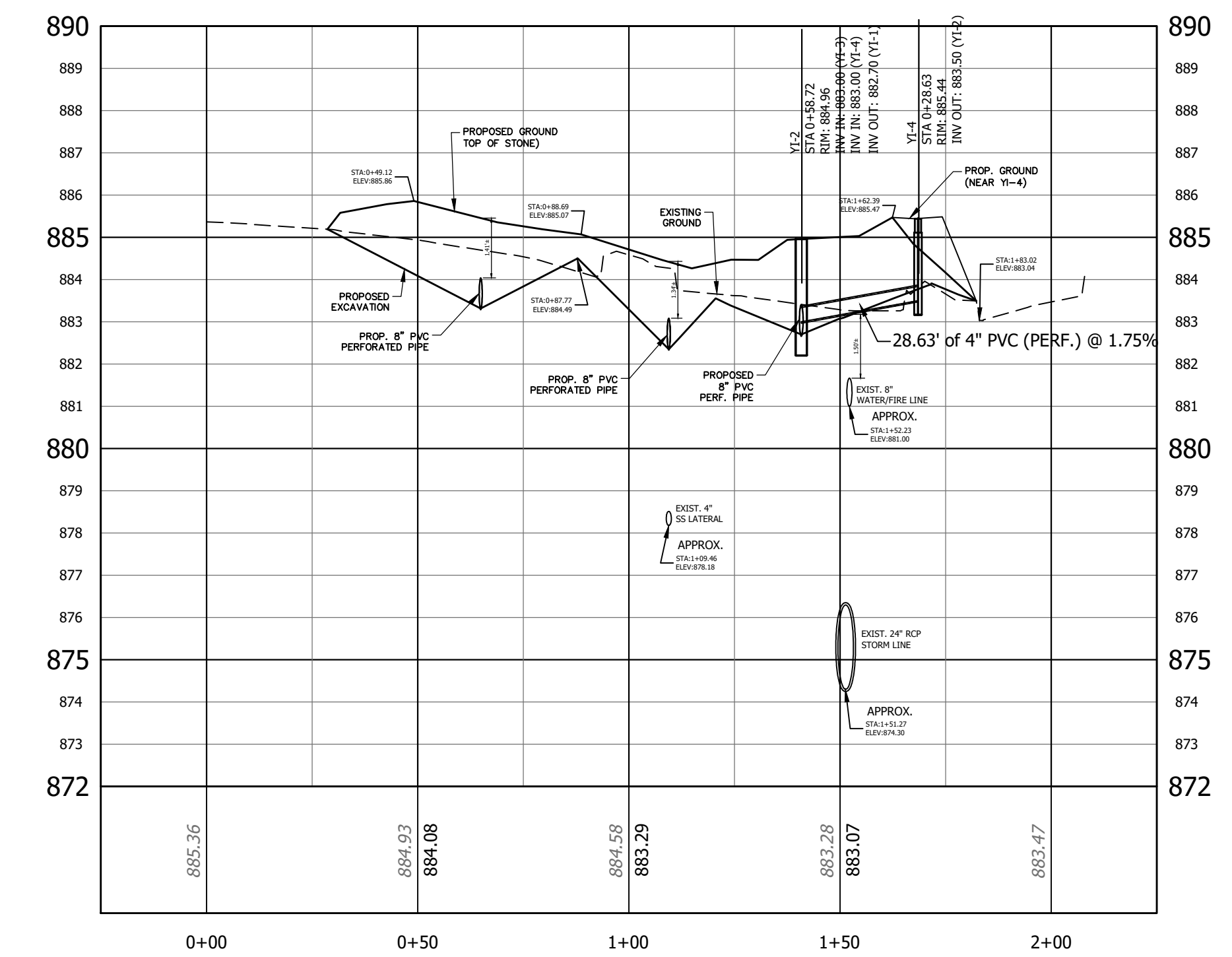
STORMWATER UNDERDRAIN DETAIL
N.T.S.

- NOTES:**
- AFTER INSTALLING PVC UNDERDRAINS, ASSURE TO MAINTAIN CLEAN SITE AND PREVENT DISTURBED AREAS FROM SETTLING SILT MATERIAL AT BOTTOM AND IN UNDERDRAIN PIPES.
 - PREFERABLE FOR A MIN. 24" FROM BOTTOM OF UNDERDRAIN DEVICE TO EXISTING SHWT.



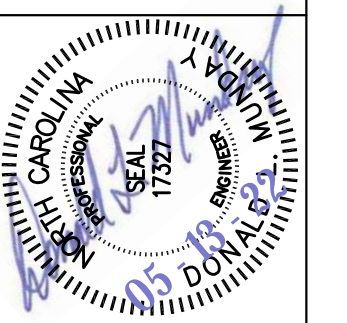
TOWN OF MOORESVILLE
LANDSCAPE STANDARDS
TREE PROTECTION DETAIL
N.T.S.

- NOTES:**
- REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
 - TREES SHOULD BE LIMBED UP TO 7' HIGH.
 - ALL UNDERBRUSH SHOULD BE NO TALLER THAN 3'.

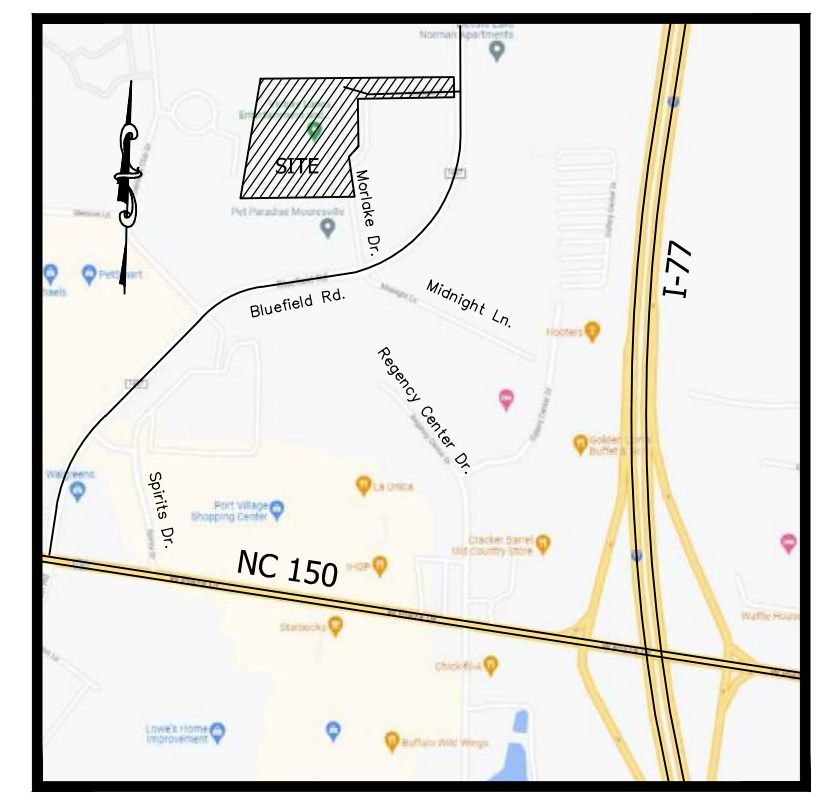
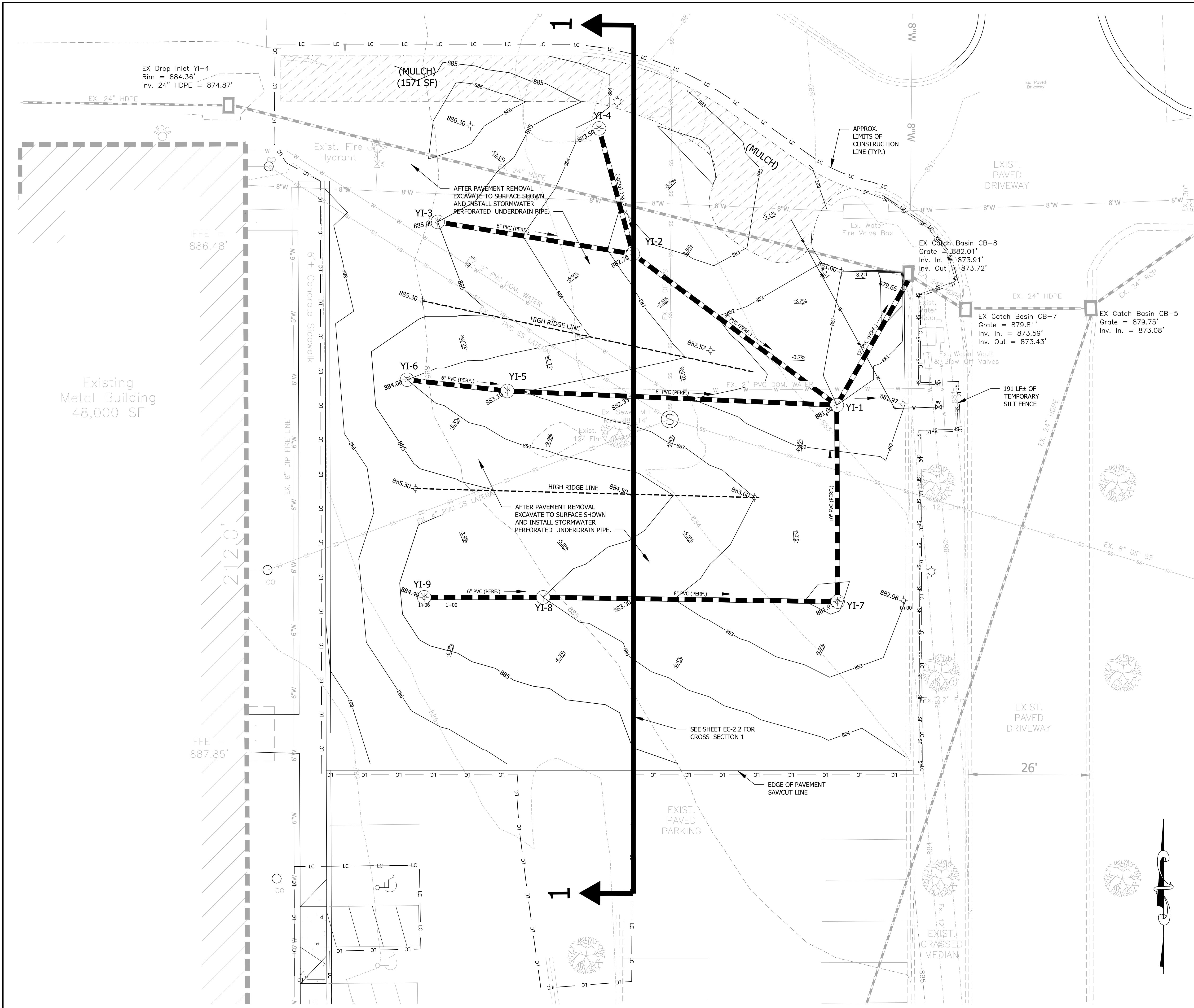


EXCAVATION ALIGNMENT PROFILE

FOR CONSTRUCTION



REVISIONS	BY



VICINITY MAP
NO SCALE
Town of Mooresville
Project Number 617623

- PHASE 1 CONSTRUCTION SEQUENCE:**
- CONTACT PROJECT ENGINEER AND IREDELL COUNTY EROSION CONTROL INSPECTOR JONATHAN WILLIAMS 704-878-3118 (x3114) FOR AN ONSITE PRE-CONSTRUCTION MEETING.
 - SEE GRADING NOTES ON SHEET GR-3 PRIOR TO CONSTRUCTION COMMENCEMENT.
 - BEGIN INSTALLING SILT FENCE AND ALL TREE PROTECTION FENCING (ORANGE) AND CONTACT IREDELL COUNTY TO INSPECT AND APPROVE ALL MEASURES.
 - TEMPORARILY SEED ALL NEW DENUDED AREAS FROM THE INSTALLATION OF ANY NEWLY INSTALLED EROSION CONTROL MEASURES.
 - AFTER INITIAL APPROVAL HAS BEEN GIVEN AND GRADING PERMIT RECEIVED, BEGIN CLEARING REMOVING PAVEMENT AND BASE MATERIAL WITHIN PROJECT LIMITS.
 - INSTALL ANY ADDITIONAL EROSION CONTROL DEVICES DEEMED NECESSARY OR AS INSTRUCTED BY COUNTY INSPECTOR.
 - TOTAL LAND DISTURBING ACTIVITY SHALL BE LIMITED TO 20-25 ACRES AT ONE GIVEN TIME. AREAS CAN BE STABILIZED TO CONTINUE FURTHER DISTURBANCES TO FINISH EACH PHASE.
 - SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE.
 - ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
 - ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
 - CONDITIONS IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, THE FOLLOWING CONDITIONS OR EXEMPTIONS SHALL APPLY:
 - EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.
 - ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY THE GROUND COVER WITHIN 7 DAYS EXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1. SLOPES LESS THAN 50' SHALL APPLY GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 3:1, THE 7 DAY REQUIREMENT APPLIES.
 - ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7 DAY GROUND COVER REQUIREMENT.
 - SLOPES 10' OR LESS IN LENGTH SHALL BE EXEMPT FROM THE 7 DAY GROUND COVER REQUIREMENT EXCEPT WHEN THE SLOPE IS STEEPER THAN 2:1.
 - ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL STABILIZATION, MAY BE ALLOWED ON A CASE-BY-CASE BASIS.
 - FOR PORTIONS OF PROJECTS WITHIN THE SEDIMENT CONTROL COMMISSION-DEFINED "HIGH QUALITY WATER ZONE" (15A NCAC 04A.0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACT.
 - PORTIONS OF A SITE THAT ARE LOWER IN ELEVATION THAN ADJACENT DISCHARGE LOCATIONS AND ARE NOT EXPECTED TO DISCHARGE DURING CONSTRUCTION MAY BE EXEMPT FROM THE TEMPORARY GROUND COVER REQUIREMENTS IF IDENTIFIED ON THE APPROVED E83C PLAN OR ADDED BY THE PERMITTING AUTHORITY.
 - SEE SEEDING SCHEDULE FOR SEED TYPE, DATES, AND RATES.
 - EROSION CONTROL MEASURES (BASINS, FENCES, DIVERSION DITCHES) DIRECTLY AFFECTED BY THIS CONTRACT SHALL BE MAINTAINED/REMOVED UNDER THIS CONTRACT. DEVICES SHALL BE MAINTAINED TO MAX. 50% CAPACITY UNTIL AREAS THEY SERVE ARE FULLY STABILIZED.
 - ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE.
 - THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE CITY SO THAT PERIODIC INSPECTIONS CAN BE CONDUCTED AT APPROPRIATE STAGES OF CONSTRUCTION.
 - SELF INSPECTION REPORTS WILL BE REQUIRED PER IREDELL COUNTY CRITERIA AND PROVIDED WHEN ASKED BY EROSION CONTROL INSPECTOR OR PROJECT ENGINEER.

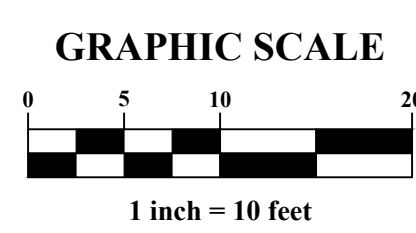
EROSION CONTROL LEGEND

DETAIL SYMBOL	DETAIL DESCRIPTION
—sf—sf—	PROPOSED TEMP. SILT FENCE
—tp—tp—	PROPOSED TEMP. TREE PROTECTION FENCE
—lc—lc—	PROPOSED LIMITS OF DISTURBANCE

TOTAL DISTURBED AREA = 0.50 ACRES
(INCLUDES HANDICAP RAMP INSTALLATION)



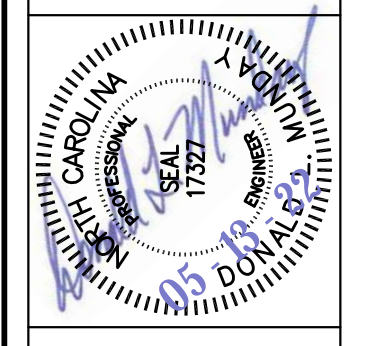
FOR CONSTRUCTION



PIEDMONT DESIGN
ENGINEERING SURVEYING & PLANNING
Associates, P.A.
Suite 101 Westfield Center, 125 East Plaza Drive
Mooresville, NC 28117
Phone: (704) 664-2888 Fax: (704) 664-1778 www.pdpape.com
NCBELS License #: C-1007

PREPARED FOR:
Victory Lanes Events & Entertainment Center
125 Morlake Drive
MOORESVILLE, NC 28117
704-664-2695

EROSION CONTROL PLAN
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA



REVISIONS	BY

Date: 5/13/22
Scale: 1"=10 FT
1" CONTOURS
Drawn: JCW
Checked: DLM
Project: 2021-08-04
Job:
Sheet
EC-3.0
of 15 Sheets

NARRATIVE:

Victory Lanes Events and Entertainment Center is proposing to construct a miniature golf course within a portion of the existing paved parking area. This project is located off Bluefield Road in Mooresville, Iredell County North Carolina. The scope of work will involve stripping existing pavement & base material, excavation, preparing subgrade, curb and gutter, storm underdrains, minor lateral utilities, place gravel, golf course holes and sidewalk installations. Off site areas will be protected from sediment using temporary silt fencing. The limits of construction shall be as shown on plans. Total disturbed area is estimated to be 0.50 acres. Upon completion all disturbed areas shall be permanently stabilized with asphalt, concrete, gravel and mulch. Disturbed areas will be replaced per the seeding specifications.

GENERAL:

The work shall consist of furnishing labor and material, equipment and performing all operations necessary for a complete installation of all work as specified herein and as shown on the drawings.

1. Work shall consist of installation of temporary erosion control measures; grubbing; stripping topsoil; rough grading and permanent seeding. All disturbed areas shall be left in a stabilized condition upon completion of this project.
2. The Contractor is expected to examine the site to familiarize himself with site conditions. The Contractor shall carefully read all the specifications and examine the drawings and details in order to thoroughly familiarize himself with the work to be done. Any work shown on the drawings or included in the specifications, or reasonably implied by either, shall be performed the same as if called for by both.

EARTHWORK:

1. A temporary bench mark shall be established on site.
2. The Contractor shall be thoroughly familiar with the Erosion Control Sequence as stated hereafter and shall follow this sequence to insure that no off site pollution occurs during or after construction. Any deviation from this stated sequence or plans and details shall have prior approval of the Owner's Engineer and Lincoln County Erosion Control Office.
3. Top Soil: Strip any remaining top soil from the area to be graded and stockpile on site for redistribution upon completion of grading.
4. Soil Borings shall be taken in the area of any buildings by a certified soils engineer and the results reported to the Owner's Engineer. This work shall be done if directed by the Owner's Engineer.
5. Fill Dirt shall be placed in the areas indicated on the plan. Fill material shall be free of brush, rubbish, and other material that will be detrimental to construction of a stable fill. All fill shall be compacted to a minimum of 95% Standard Proctor with proper moisture control. Maximum thickness of layers of fill to be compacted shall not exceed 8". No slopes shall be greater than 2:1. The entire sub-grade after compaction shall be smooth and uniform slope.
6. Subgrade and fill to be verified and tested by geotechnical engineer.
7. Cut Material to be excavated is assumed to be earth and other materials that can be removed by power-shovel, bulldozer, motorized pan, or normal excavating equipment; but not requiring the use of explosives or drills. If rock (as defined herein) is encountered within the limits of excavation, the Contract Sum will be adjusted in compliance with provisions for "Changes in the Work" of the "Conditions of the Contract". When rock is encountered, Contractor shall notify the Engineer immediately; and shall not proceed further until instructions are given and measurements made for the purpose of establishing volume of rock and the value of excavating same. Rock is defined hereby as that material which cannot be ripped by a crawler-tractor rated at a minimum of 50,000 lbs. drawbar pull at one mile per hour, pulling a single-tooth ripper. Equipment shall be in good repair, and shall be in proper working condition. Rock is further defined hereby as boulders larger than 1/2 cubic yard in size. No payment will be made on the basis of unit-price for rock unless minimum-sized equipment or better is utilized as required hereinbefore. Rock work is defined hereby as removal of material by drilling, blasting or wedging. Rock shall be stripped for measurement before excavating, and no rock excavated or loosened before measurement will be allowed or paid for as rock. Measurement and payment, therefore, shall be by number of cubic yards required to bring the excavation to the required surface or grade as required by the Contract Documents. The Owner may adjust the grades should excessive rock be encountered.

EROSION CONTROL SPECIFICATIONS

Requirements of the Contract Documents apply to all work in this section

GENERAL: Provide the work of this section for erosion and sediment control as indicated and specified as follows:
Construction entrance; inlet protection; permanent seeding, sediment fencing and temporary rock weir outlets.

CONTRACTOR'S RESPONSIBILITY: The Contractor shall furnish the Owner a system of temporary controls to minimize soil sediment erosion during the construction period caused by storm water runoff. Work shall be performed as called for on the drawings and as site conditions warrant.

OWNER'S RESPONSIBILITY: After the acceptance, it is the Owner's responsibility to properly maintain the work.

EROSION AND SEDIMENT CONTROL: The Contractor shall provide erosion and sediment control during the period of construction of this project. The Contractor shall protect and maintain the temporary erosion and sediment control structures which provide temporary sediment pollution control, as shown on the drawings. The Contractor shall protect and maintain the temporary facilities as necessary to trap soil erosion and sediment pollution created by storm water runoff. Maintenance of these facilities shall include, but not be limited to, regrading and filling of washed out areas, adding erosion control blankets, adding/repairing sediment fencing, and reseeded and mulching of the swales during the construction period if deemed necessary by the Owner, Owner's Engineer, or the Lincoln County Erosion Control inspector.

NEW STABILIZATION TIMEFRAMES		
Site Area Description	Stabilization	Timeframe Exceptions
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

SEEDING SPECIFICATIONS

SLOPES 3:1 or FLATTER

1. Apply agricultural lime at the rate of 90 lb/1000 sf.
2. Apply 10-10-10 commercial fertilizer at the rate of 20 lb/1000 sf.
3. Seed in accordance with the following schedule and application rate:

DATE	TYPE	PLANTING RATE
Aug 15 - Nov 1	Tall Fescue	200 lb/ac or 7 lb/1000 sf
Nov 1 - Mar 1*	Tall Fescue and Abruzzi Rye	200 lb/ac or 7 lb/1000 sf 25 lb/ac or 1/2 lb/1000 sf
Mar 1 - Apr 15	Tall Fescue	200 lb/ac or 7 lb/1000 sf
Apr 15 - Jul 30	Hulled Common or Bermuda	30 lb/ac or 1 lb/1000 sf
Jul 15 - Aug 15	Tall Fescue and Brown Millet or Sorghum-Sudan Hybrids	200 lb/ac or 7 lb/1000 sf 35 lb/ac or 7/8 lb/1000 sf 30 lb/ac or 3/4 lb/1000 sf

* Heavily mulched during January - March period. Coat applied at the rate of 5-7 gal/1000 sf or 200-300 gal/ac.

4. Mulch with straw applied at the rate of 75-100 lb/1000 sf, and anchor with asphalt emulsion tack coat applied at the rate of 5-7 gal/1000 sf or 200-300 gal/ac.

SLOPES GREATER THAN 3:1 TO 2:1

1. Apply agricultural lime at the rate of 90 lb/1000 sf.
2. Apply 10-10-10 commercial fertilizer at the rate of 20 lb/1000 sf.
3. Seed in accordance with the following schedule and application rate.

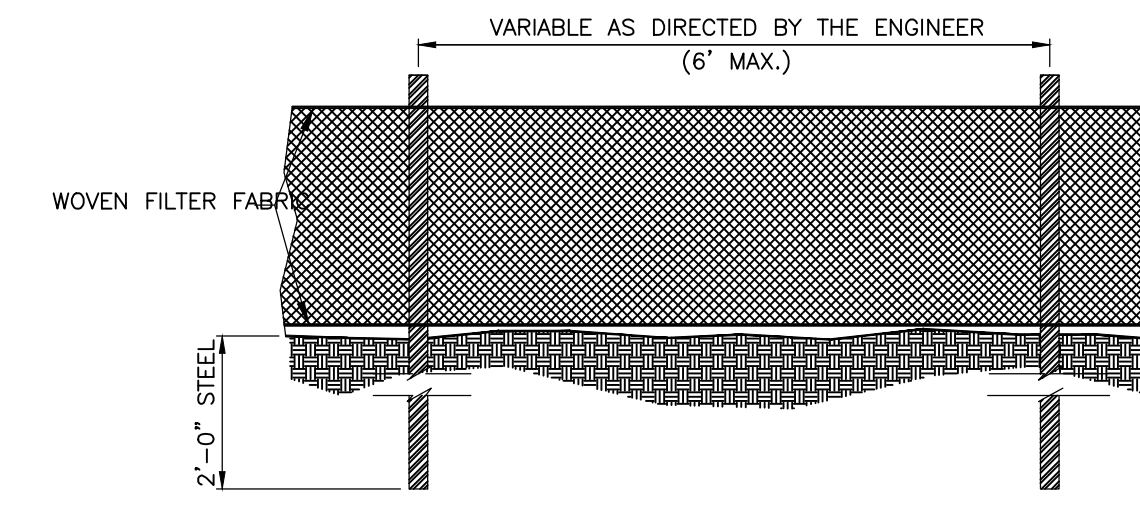
DATE	TYPE	PLANTING RATE
Mar 1 - Jun 1	Sericea Lespedeza (scarified) & Add Tall Fescue or	50 lb/ac or 11 lb/1000 sf 150 lb/ac or 3-1/2 lb/1000 sf
Mar - Jun	Add Weeping Lovegrass	5 lb/ac or 1/8 lb/1000 sf
Jun - Sep 1**	German Millet or Small-Stemmed Sudan Grass	40 lb/ac or 1 lb/1000 sf 50 lb/ac or 1.2 lb/1000 sf
Sep - Mar 1	Sericea Lespedeza (unhulled-unscarified) Tall Fescue Millet or Sudan	70 lb/ac or 1-3/4 lb/1000 sf 150 lb/ac or 3-1/2 lb/1000 sf 20 lb/ac or 1/2 lb/1000 sf

** Temporary - Reseed September 1 at recommended rates.

4. Mulch with 3" straw applied at the rate of 50-90 lb/1000 sf and anchor with asphalt emulsion tack coat applied at the rate of 5-7 gal/1000 sf or 200-300 gal/ac.

ADDITIONAL SEEDING SPECIFICATIONS:

1. ALL OPEN AREAS SHALL BE SEEDED WITH KENTUCKY FESCUE #31 OR SODDEED.
2. LIME SHALL BE APPLIED AT 4000/LB PER ACRE.
3. FERTILIZER SHALL BE APPLIED AS FOLLOWS: 10-10-10 AT 1000 LB. PER ACRE AND 0-20-0 AT 500 LB. PER ACRE.
4. SEED SHALL BE APPLIED AT 80 LB. PER ACRE (ADD 30 LB. PER ACRE ANNUAL RYE IF SEEDING BETWEEN NOVEMBER AND FEBRUARY).
5. STRAW SHALL BE APPLIED AT 3000 LB. PER ACRE AND ASPHALT TACKED AT 225 GAL. PER ACRE.

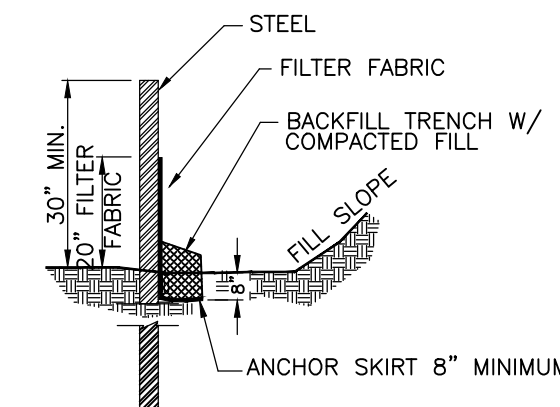


GENERAL NOTES:

1. FILTER FABRIC FENCE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
2. WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
3. STEEL POSTS SHALL BE 5"-Ø" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
4. WASHED STONE SHALL BE USED TO BURY SKIRT WHEN SILT FENCE IS USED ADJACENT TO A CHANNEL, CREEK OR POND.
5. TURN SILT FENCE UP SLOPE AT ENDS.
6. FABRIC USED WITH WIRE MESH MAY USE 8' CENTERED POSTS.

MAINTENANCE NOTES:

1. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE PRIOR TO THE ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED



TEMPORARY SILT FENCE

N.T.S.

MAINTENANCE DESCRIPTIONS:

GENERAL EROSION:

THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE AGENT SO THAT PERIODIC INSPECTIONS CAN BE CONDUCTED AT APPROPRIATE STAGES OF CONSTRUCTION.

GRAVEL CONSTRUCTION ENTRANCE:

MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2" STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

INLET PROTECTION:

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

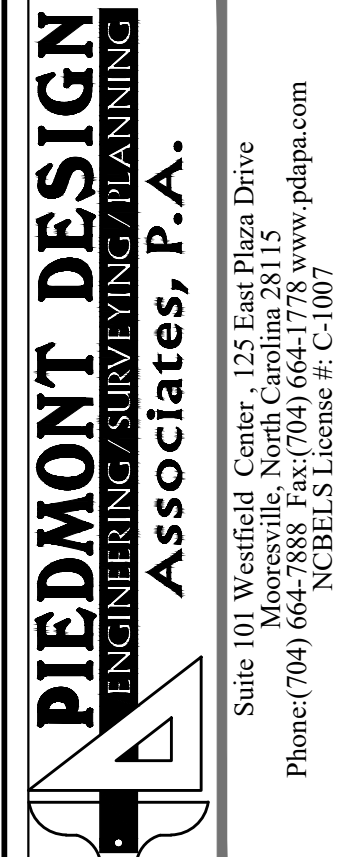
SILT FENCE:

INSPECT SILT FENCE AT LEAST WEEKLY AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS WHEN IT REACHES 0.5' FULL. TAKE CARE TO AVOID DAMAGING SILT FENCE DURING CLEANOUT. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND STABILIZE IT.

THE ENGINEER MAY DIRECT THAT ADDITIONAL SILT FENCING OR EROSION CONTROL MATTING BE INSTALLED AT ANY TIME PRIOR TO FINAL ACCEPTANCE.

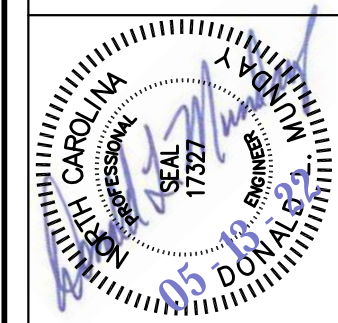
STONE DAM IN SILT FENCE:

INSPECT STONE DAM IN SILT FENCE AT LEAST WEEKLY AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REPAIR OR REPLACE DAMAGED STONE BACK TO ORIGINAL HEIGHT AND WIDTH AND DRAINING CAPABILITY. SHOULD THE FABRIC COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS IN FRONT OF DAM WHEN IT REACHES 0.5' FULL. TAKE CARE TO AVOID DAMAGING SILT FENCE DURING CLEANOUT. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND STABILIZE IT.



PREPARED FOR:
Victory Lanes Events & Entertainment Center
125 Morlake Drive
MOORESVILLE, NC 28117
704-664-2895

EROSION DETAILS
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA



REVISIONS	BY

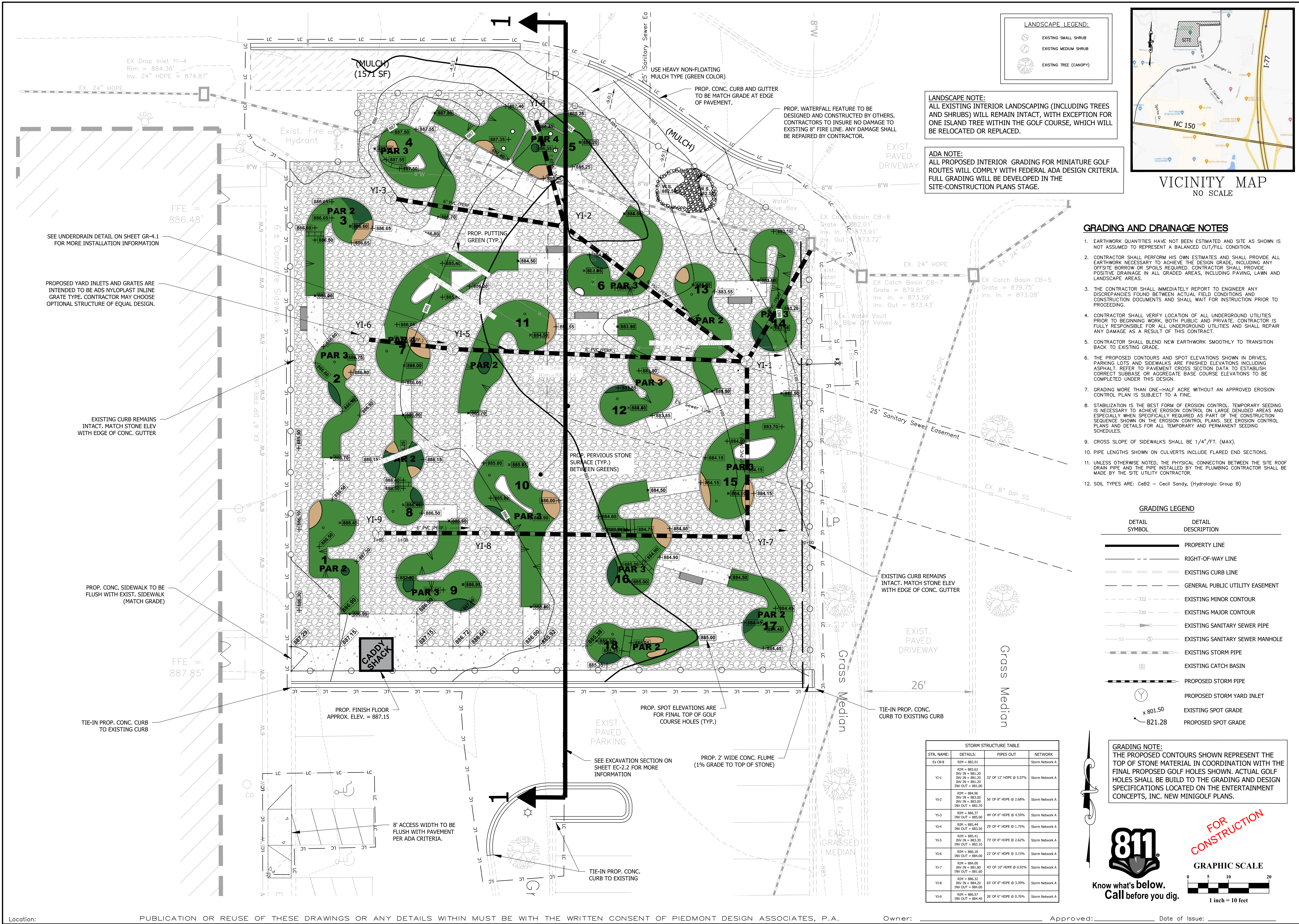
Date: 5/13/22
Scale: 1"=10 FT
1" CONTOURS
Drawn: JCW
Checked: DLM
Project: 2021-08-04
Job:

Sheet
EC-3.1

FOR CONSTRUCTION



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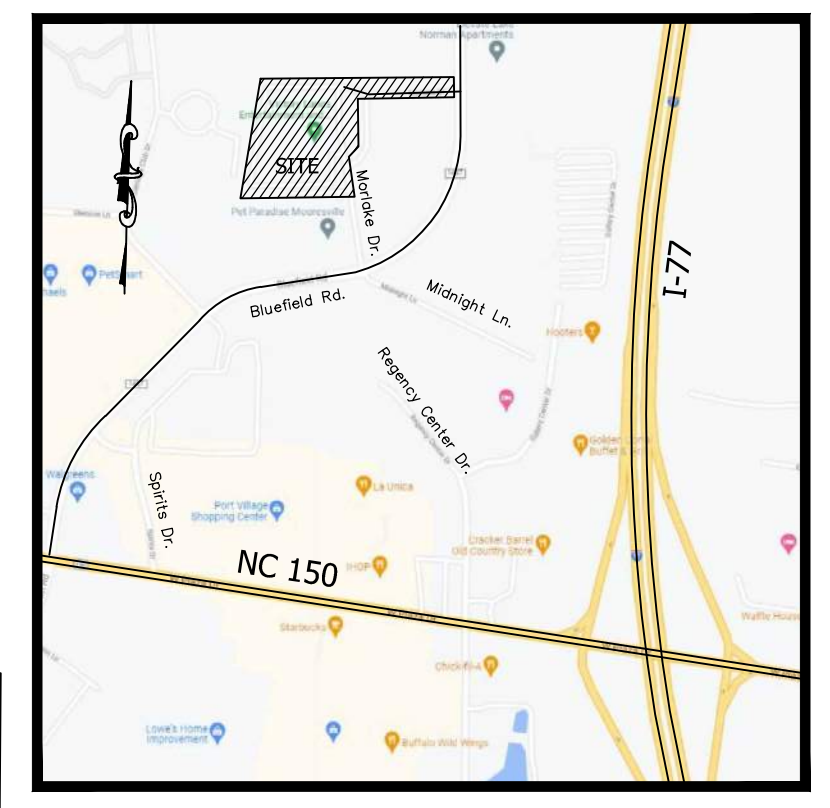


LANDSCAPE LEGEND:

- EXISTING SMALL SHRUB
- EXISTING MEDIUM SHRUB
- EXISTING TREE (CANOPY)

LANDSCAPE NOTE:
ALL EXISTING INTERIOR LANDSCAPING (INCLUDING TREES AND SHRUBS) WILL REMAIN INTACT, WITH EXCEPTION FOR ONE ISLAND TREE WITHIN THE GOLF COURSE, WHICH WILL BE RELOCATED OR REPLACED.

ADA NOTE:
ALL PROPOSED INTERIOR GRADING FOR MINIATURE GOLF ROUTES WILL COMPLY WITH FEDERAL ADA DESIGN CRITERIA. FULL GRADING WILL BE DEVELOPED IN THE SITE-CONSTRUCTION PLANS STAGE.



- GRADING AND DRAINAGE NOTES**
- EARTHWORK QUANTITIES HAVE NOT BEEN ESTIMATED AND SITE AS SHOWN IS NOT ASSUMED TO REPRESENT A BALANCED CUT/FILL CONDITION.
 - CONTRACTOR SHALL PERFORM HIS OWN ESTIMATES AND SHALL PROVIDE ALL EARTHWORK NECESSARY TO ACHIEVE THE DESIGN GRADE, INCLUDING ANY OFFSITE BORROW OR SPOILS REQUIRED. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL GRADED AREAS, INCLUDING PAVING, LAWN AND LANDSCAPE AREAS.
 - THE CONTRACTOR SHALL IMMEDIATELY REPORT TO ENGINEER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. BOTH PUBLIC AND PRIVATE. CONTRACTOR IS FULLY RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL REPAIR ANY DAMAGE AS A RESULT OF THIS CONTRACT.
 - CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
 - THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN DRIVES, PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS DESIGN.
 - GRADING MORE THAN ONE-HALF ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS SUBJECT TO A FINE.
 - STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DEMOLISHED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE EROSION CONTROL PLANS. SEE EROSION CONTROL PLANS AND DETAILS FOR ALL TEMPORARY AND PERMANENT SEEDING SCHEDULES.
 - CROSS SLOPE OF SIDEWALKS SHALL BE 1/4" FT. (MAX).
 - PIPE LENGTHS SHOWN ON CULVERTS INCLUDE FLARED END SECTIONS.
 - UNLESS OTHERWISE NOTED, THE PHYSICAL CONNECTION BETWEEN THE SITE ROOF DRAIN PIPE AND THE PIPE INSTALLED BY THE PLUMBING CONTRACTOR SHALL BE MADE BY THE SITE UTILITY CONTRACTOR.
 - SOIL TYPES ARE: Csb2 - Cecil Sandy, (Hydrologic Group B)

GRADING LEGEND

DETAIL SYMBOL	DETAIL DESCRIPTION
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EXISTING CURB LINE
	GENERAL PUBLIC UTILITY EASEMENT
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING SANITARY SEWER PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM PIPE
	EXISTING CATCH BASIN
	PROPOSED STORM PIPE
	PROPOSED STORM YARD INLET
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE

STORM STRUCTURE TABLE

STR. NAME	DETAILS	PIPES OUT	NETWORK
EX CB-8	RM = 882.01		Storm Network A
YI-1	RM = 883.62 INV IN = 881.20 INV OUT = 881.00	12" OF 12" HDPE @ 5.07%	Storm Network A
YI-2	RM = 884.96 INV IN = 883.20 INV OUT = 881.00	54" OF 8" HDPE @ 2.68%	Storm Network A
YI-3	RM = 886.37 INV IN = 885.00	44" OF 6" HDPE @ 4.59%	Storm Network A
YI-4	RM = 885.44 INV IN = 883.50	29" OF 4" HDPE @ 1.75%	Storm Network A
YI-5	RM = 885.41 INV IN = 883.30 INV OUT = 883.10	73" OF 8" HDPE @ 2.62%	Storm Network A
YI-6	RM = 886.18 INV IN = 884.00	22" OF 6" HDPE @ 3.15%	Storm Network A
YI-7	RM = 884.00 INV IN = 881.20 INV OUT = 881.00	43" OF 10" HDPE @ 0.92%	Storm Network A
YI-8	RM = 886.32 INV IN = 884.20 INV OUT = 884.00	65" OF 8" HDPE @ 3.39%	Storm Network A
YI-9	RM = 886.57 INV IN = 884.40	26" OF 6" HDPE @ 0.76%	Storm Network A

GRADING NOTE:
THE PROPOSED CONTOURS SHOWN REPRESENT THE TOP OF STONE MATERIAL IN COORDINATION WITH THE FINAL PROPOSED GOLF HOLES SHOWN. ACTUAL GOLF HOLES SHALL BE BUILT TO THE GRADING AND DESIGN SPECIFICATIONS LOCATED ON THE ENTERTAINMENT CONCEPTS, INC. NEW MINI-GOLF PLANS.

811
Know what's below.
Call before you dig.

FOR CONSTRUCTION

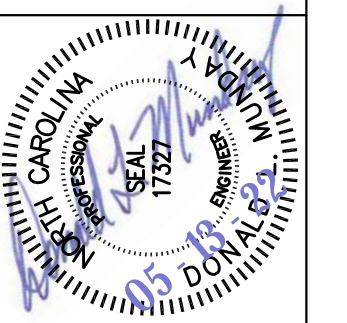
GRAPHIC SCALE
1 inch = 10 feet

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704-664-2888

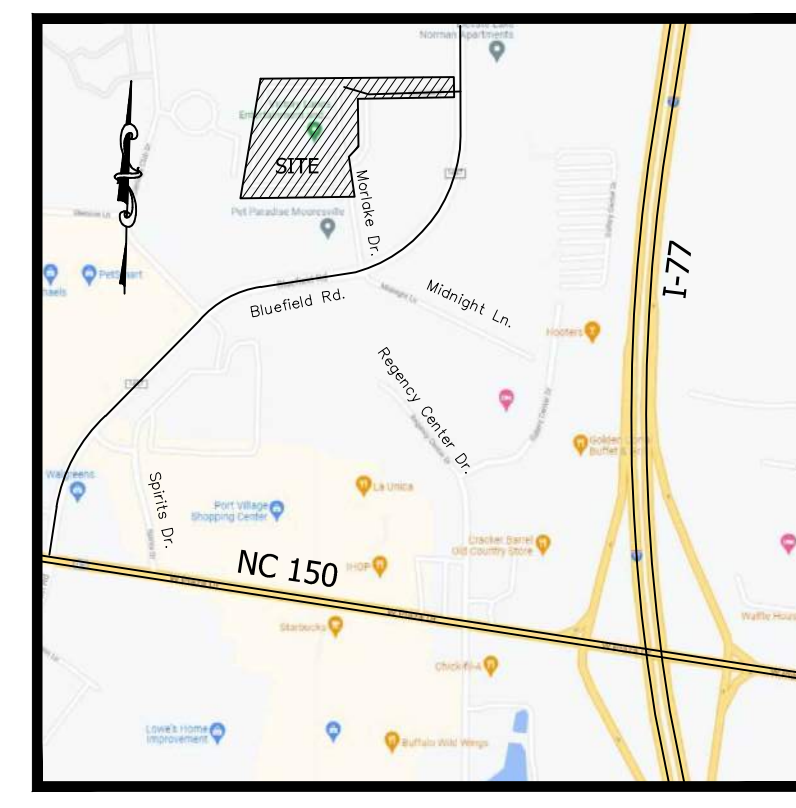
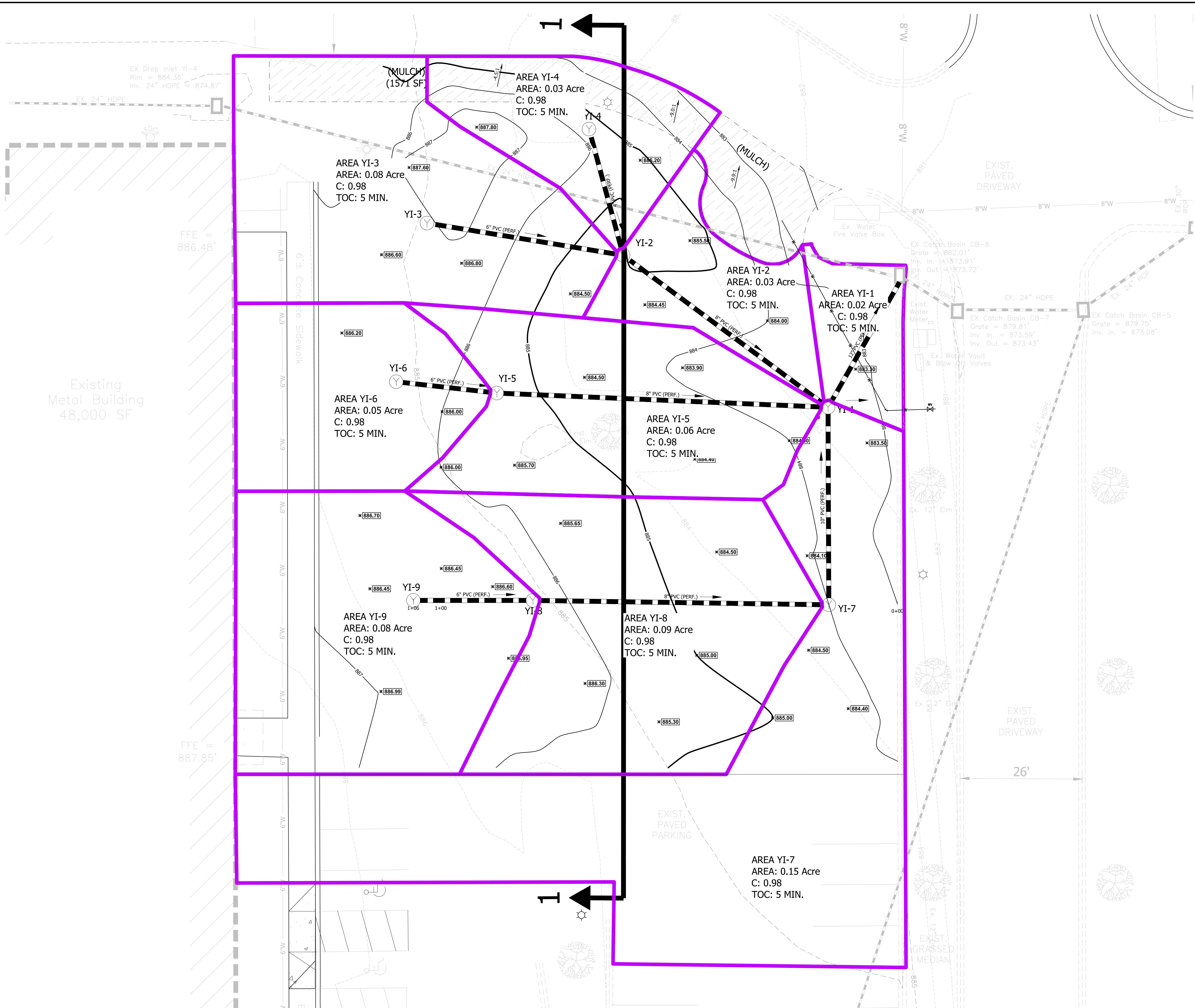
GRADING AND LANDSCAPING PLAN
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA



REVISIONS	BY

Date: 5/13/22
Scale: 1" = 10 FT
1" = 1' CONTOURS
Drawn: JCW
Checked: DLM
Project: 2021-08-04
Job:
Sheet: GR-4.0
of 12 Sheets

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 MOORESVILLE, NC 28117
 704-664-2895

GRADING AND LANDSCAPING PLAN
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA



REVISIONS	BY

Date: 5/13/22
 Scale: 1" = 10 FT
 1" CONTOURS
 Drawn: JCW
 Checked: DLM
 Project: 2021-08-04
 Job:
 Sheet
DR-4.1
 of 13 Sheets

DRAINAGE AREAS ARE NOT BASED ON DRAINAGE TO YARD INLETS, BUT TO EACH UNDERDRAIN PIPE

811
 Know what's below.
 Call before you dig.

FOR CONSTRUCTION

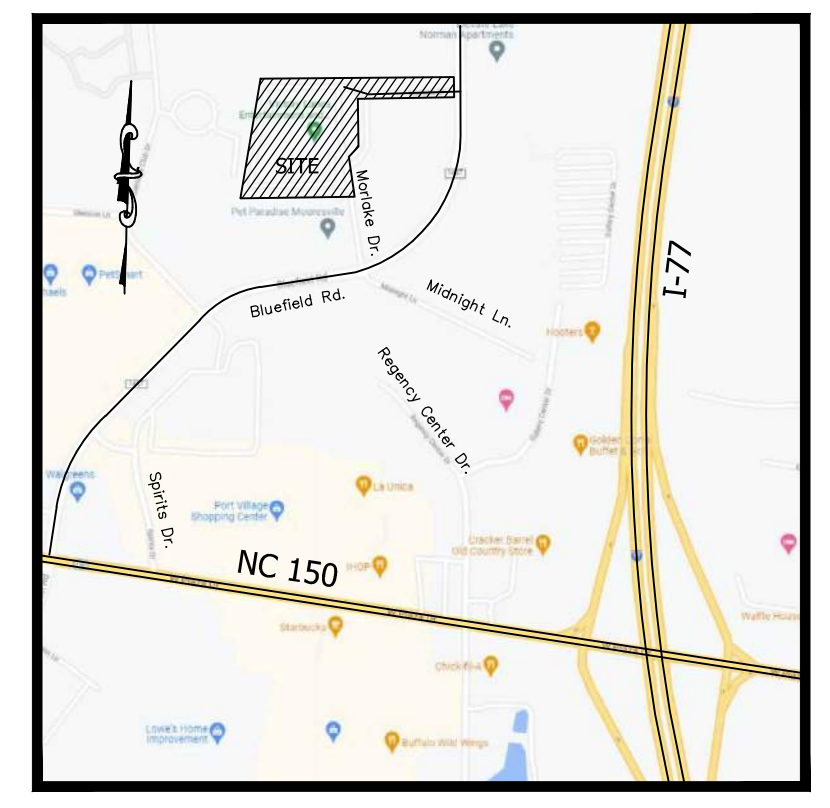
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UTILITY LEGEND

DETAIL SYMBOL	DETAIL DESCRIPTION
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	EXISTING CURB LINE
---	GENERAL PUBLIC UTILITY ESMT.
W-W	EXISTING WATERLINE
⊗	EXISTING FIRE HYDRANT
⊙	EXISTING WATER VALVE
⊙	EXISTING WATER METER
SS	EXISTING SANITARY SEWER PIPE
SS ⊕	EXIST. SANITARY SEWER MANHOLE
---	EXISTING STORM PIPE
---	PROPOSED PVC WATER LINE
---	PROPOSED GATE VALVE



VICINITY MAP
NO SCALE

UTILITY NOTES

- CONTRACTOR SHALL BE LICENSED TO PERFORM UTILITY WORK IN THE STATE OF NORTH CAROLINA.
- CONTRACTOR SHALL HAVE IN HIS/HER POSSESSION AT ALL TIMES APPROVED PLANS AND SPECIFICATIONS.
- TOWN OF MOORESVILLE ENGINEERING DEPARTMENT SHALL BE NOTIFIED THREE WORKING DAYS PRIOR TO BEGINNING WORK, FILLING LINES, PRESSURE TESTING AND DISINFECTION. ENGINEER TO BE NOTIFIED 2 DAYS IN ADVANCE OF WATER AND SEWER TESTING.
- TOWN OF MOORESVILLE ENGINEERING DEPARTMENT SHALL BE NOTIFIED THREE WORKING DAYS PRIOR TO CONNECTING TO ANY EXISTING LINE. CONNECTING VALVES SHALL NOT BE OPERATED BY ANYONE OTHER THAN TOWN OF MOORESVILLE ENGINEERING AND MAINTENANCE PERSONNEL.
- INSTALLATION PERFORMED DURING NON-REGULAR HOURS SHALL BE SUBJECT TO INSPECTION. REGULAR WORK DAYS/HOURS ARE DEFINED AS MONDAY THRU FRIDAY, 8 A.M. TO 5 P.M. EXCLUDING HOLIDAYS. WEEKEND WORK MAY BE ARRANGED BY CONTACTING CHARLOTTE WATER THREE WORKING DAYS PRIOR TO SUBJECT WEEKEND.
- ANY CONFLICTS BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE SITE ENGINEER BEFORE ANY FURTHER WORK IS COMMENCED.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES (STORM DRAINAGE, ELECTRIC, GAS, TELEPHONE, ETC.) PRIOR TO CONSTRUCTION. INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- MINIMUM COVER FOR ALL SANITARY SEWER MAINS SHALL BE 3'-0". DUCTILE IRON PIPE WILL BE SUBSTITUTED WHEN MINIMUM COVER CAN NOT BE MAINTAINED.
- THE STANDARD DEPTH OF COVER FOR WATER MAINS SHALL BE 3'-0" MIN. EXCEPT AT VALVE OR HYDRANT LOCATIONS, OR OTHER SPECIAL CONDITIONS.
- THE CONNECTION TO EXISTING WATER MAINS SHALL BE PERFORMED ONLY AFTER ALL PRESSURE TESTING AND CHLORINATION ARE SUCCESSFULLY COMPLETED AND THE LOCAL REVIEW AUTHORITY HAS APPROVED THE CONNECTION. THE CONTRACTOR SHALL AVOID DISRUPTION OF EXISTING SERVICE.
- REFER TO PLUMBING DRAWING SERIES FOR THE LOCATION OF WATER AND SANITARY SEWER SERVICE CONNECTIONS AT THE BUILDING.
- UNLESS OTHERWISE NOTED, THE PHYSICAL CONNECTION BETWEEN THE SITE UTILITY LINES AND THE PIPE INSTALLED BY THE PLUMBING CONTRACTOR SHALL BE MADE BY THE PLUMBING CONTRACTOR.
- PIPE LENGTHS SHOWN ON PLAN ARE THE ENGINEER'S ESTIMATE USED TO COMPUTE PIPE SLOPES AND INVERTS AND SHALL NOT BE CONSTRUED BY THE CONTRACTOR TO REPRESENT THE ACTUAL QUANTITY OF PIPE REQUIRED.
- IF WATER LINE CROSSES OVER SANITARY SEWER WITH LESS THAN 18 INCHES VERTICAL CLEARANCE BOTH PIPES SHALL BE DUCTILE IRON 10" EACH SIDE. IF WATER CROSSES UNDER THE SEWER REGARDLESS OF CLEARANCE, BOTH PIPES SHALL BE DUCTILE IRON 10" EACH SIDE. IF WATER LINE RUNS PARALLEL TO SEWER LINE WITH LESS THAN 18" VERTICAL CLEARANCE AND LESS THAN 10" SIDE CLEARANCE BOTH PIPES SHALL BE DUCTILE IRON.
- IF REQUIRED BY NUMBER 15 ABOVE REPLACE EXISTING SEWER WITH DUCTILE IRON PIPE, CLASS 350 WORKING PRESSURE WITH GASKETED JOINTS, 10" EACH SIDE OF WATER MAIN.
- INSTALLER MUST OBTAIN FIELD INSPECTION/APPROVAL OF EACH 'TOWN OF MOORESVILLE' REQUIRED BACKFLOW PREVENTER INSTALLATION FROM A CERTIFIED BACKFLOW CONSTRUCTION INSPECTOR.
- EACH REQUIRED BPA IS REQUIRED TO BE TESTED BY A PRIVATE CERTIFIED TESTER (APPROVED BY THE TOWN OF MOORESVILLE ENGINEERING DEPARTMENT) PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS 'TOWN OF MOORESVILLE' REQUIRED BACKFLOW PREVENTER.
- ALL WATER LINE JOINTS TO BE RESTRAINED JOINTS. MEGA-LUG MAY BE SUBSTITUTED FOR CONCRETE THRUST BLOCKING.
- ALL WATER LINE PVC PRESSURE PIPING SHALL HAVE A MINIMUM PRESSURE CLASS RATING OF 200 PSI (DR-18) PIPE.

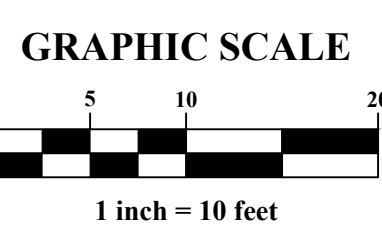
Town of Mooresville, North Carolina
As-Built Certification

I certify that these plans (including roadway, water, sewer, and drainage) have been as-built through field verification and measurements and the information contained on these plans is accurate to the best of my knowledge.

Professional Engineer or Professional Land Surveyor _____ Date _____



FOR CONSTRUCTION

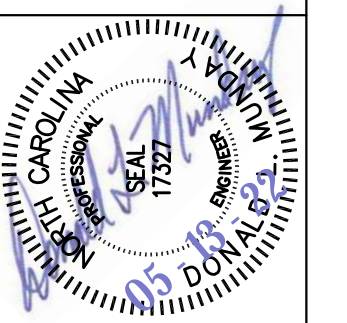


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125 Morlake Drive
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UTILITY PLAN
NEW VICTORY LANES MINIATURE GOLF
125 MORLAKE DRIVE
MOORESVILLE, IREDELL COUNTY, NORTH CAROLINA



REVISIONS	BY

Date: 5/13/22
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Job:
Sheet: **U-5.0**